



**CITY OF ROMULUS – CITY COUNCIL
REGULAR MEETING AGENDA
June 6, 2022
7:30 PM**

Members of the public can view the Regular City Council Meetings live via the Romulus Public Access Channel 12 and YouTube at www.youtube.com/cityofromulus. Public comments can also be emailed to publiccomment@romulusgov.com

Pledge of Allegiance

Roll Call

1. Agenda

- A. Approval of Agenda

2. Minutes

- A. Approval of Minutes from the Regular Meeting held on Monday, May 23, 2022, at 7:30 p.m.
- B. Approval of Minutes from the Special Meeting - Study Session held on Monday, May 23, 2022, at 6:45 p.m. to discuss the Brownfield Plan Proposal.

3. Petitioner

- A. Petitioner: Presence Church Petition: Approval of Prayer Walk on June 11, 2022
- B. Petitioner: Emily Lewkowicz Presentation: A Learning Experience
- C. Romulus Trade Center (NorthPoint) Preliminary Condominium Plan

4. Chairperson's Report, John Barden, Mayor Pro-Tem

- A. Approval of the Chairperson's Report

5. Mayor's Report – Robert A. McCraight, Mayor

- A. Michigan Department of Agriculture and Rural Development - 2022 Animal Welfare Grant Award
- B. Sole Source Bryx Station Upgrade
- C. General and Special Appropriations Act and Tax Levy Authorization **Revision - Section 39 - reduction of levy**

6. Clerk's Report – Ellen L. Craig-Bragg, Clerk

- A. Second Reading & Final Adoption of Budget Amendment 21/22-13
- B. Approval of the 2022 Honorary Street Sign Dedication Applications

7. Treasurer's Report – Stacy Paige, Treasurer

8. Public Comment - Citizens are to limit their comments to three (3) minutes. All citizens wishing to speak will be heard.

9. Unfinished Business

10. New Business

11. Communication

12. Adjournment



RULES REGARDING THE PUBLIC ADDRESSING A CITY MEETING

Any member of the public shall have the right to address the City Council, Board or Commission on any item on the agenda under the following conditions:

1. Individuals requesting to address City Council, a Board or Commission on an agenda item or under public comment must fill out a “*Request to Address*” card provided – listing name, address, phone number and agenda item on which comments are desired to be made and present it to the Clerk or recording secretary.
2. When the agenda item is reached, the clerk or recording secretary shall call upon the person or persons who filed the request to speak. A member of the public shall not be permitted to enter into debate with a petitioner.
3. Individuals that would like to address City Council under the public comment portion of the agenda, must raise their hand and when recognized by the chair, the person shall approach the microphone and state their name and address.
4. Remarks shall be limited to three (3) minutes, subject to being extended an additional three (3) minutes by consent of the chair. There shall be no personal attacks. Remarks shall not contain any profanity, racial, ethnic, religious, sexual or national origin slurs or overtones. Anyone making such remarks shall lose his/her right to address the City Council, Board or Commission.
5. No person shall be permitted to address the group on any item more than once at any one meeting without the approval of a majority of the quorum present.
6. All of the foregoing does not apply to a person previously granted a hearing at the meeting in question.
7. This rule does not permit members of the public to join in debate or discussion with petitioners, members of the body or with other members of the public present at such meeting.
8. Once a motion is on the floor, discussion from the public shall no longer be permitted on that agenda item.
9. The public may make a request to the Chairperson of the Council on a form provided by the Clerk, to be added to the agenda of a future Council meeting to address a subject that Council would have authority to address. If the Chairperson denies the request, the request may be made to the entire Council under the Public Comment section of the Council’s agenda. If the request is granted by a majority of the Council, it will be added as an agenda item at the next regular meeting of the Council.

The meeting will be held in the City Council Chambers, Romulus City Hall, 11111 South Wayne Road, Romulus, MI 48174. NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA), is asked to contact the Clerk’s Office (734-942-7540) 48 hours prior to the meeting – the staff will be pleased to make the necessary arrangements.



City of Romulus

Agenda

Council Meeting Held: **June 6, 2022**

Item No. A.

General Description: Approval of Agenda

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



City of Romulus

Minutes

Council Meeting Held: **June 6, 2022**

Item No. A.

General Description: Approval of Minutes from the Regular Meeting held on Monday, May 23, 2022, at 7:30 p.m.

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



MINUTES OF THE REGULAR ROMULUS CITY COUNCIL MEETING

May 23, 2022

Romulus City Hall Council Chambers, 11111 Wayne Rd, Romulus, MI 48174

The meeting was called to order at 7:30 p.m. by Mayor Pro-Tem John Barden

Pledge of Allegiance

Roll Call

Present: Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Absent / Excused: Celeste Roscoe, Eva Webb

Administrative Officials in Attendance:

Robert McCraight, Mayor

D'Sjonaun Hockenhull, Deputy Clerk

Administrative Staff in Attendance:

Stephen Hitchcock - City Attorney; Julie Wojtylko - Chief of Staff; Kevin Krause - Director of Fire & Emergency Services; Merrie Druyor - TIFA/DDA Director; Gary Harris - Purchasing Director; Roberto Scappaticci - DPW Director

1. Agenda

- A.** Moved by **Tina Talley**, seconded by **Kathy Abdo** to accept the agenda as presented.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Nays - None

Motion Carried Unanimously.

2. Minutes

- A. Res. #22-131** Moved by **William Wadsworth**, seconded by **Kathy Abdo** to approve the Minutes from the Regular Meeting held on Monday, May 9, 2022, at 7:30 p.m.

Roll Call Vote: Ayes - Virginia Williams, Kathy Abdo, John Barden, Tina Talley, William Wadsworth

Nays - None

Motion Carried Unanimously.

- B. Res. #22-132** Moved by **Kathy Abdo**, seconded by **Tina Talley** to approve the Minutes from the Special Meeting - Study Session held on Monday, May 9, 2022, at 6:45 p.m. to discuss the Redevelopment Ready Community Boards & Commissions Component Orientation & Training Strategy.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Nays - None

Motion Carried Unanimously.

3. Petitioner - None

4. Chairperson's Report, John Barden, Mayor Pro-Tem

Res. #22-133 Moved by **William Wadsworth**, seconded by **Tina Talley** to adopt a resolution in recognition of years of service for Randolph Gear.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Nays - None

Motion Carried Unanimously.

Councilwoman Talley read the letters of the winners of the "Why I Love the City of Romulus" contest and presented awards to the winners.

- A. Moved by **Tina Talley**, seconded by **Kathy Abdo** to accept the Chairperson's Report.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

5. **Mayor's Report – Robert A. McCraight, Mayor**

- A. **Res. #22-134** Moved by **William Wadsworth**, seconded by **Tina Talley** to concur with the Administration and award ITB 21/22-17 to the lowest, responsible and responsive bidder, Maurer's Textiles for three-year contractual services for uniform rental and laundry services for the City of Romulus Department of Public Works.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

- B. **Res. #22-135** Moved by **Tina Talley**, seconded by **William Wadsworth** to concur with the Administration and award ITB 21/22-18 to each bidding company at the prices submitted on the Tabulation sheet for two-year fixed pricing for concrete for the City of Romulus Department of Public Works.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

- C. **Res. #22-136** Moved by **Tina Talley**, seconded by **William Wadsworth** to concur with the Administration and award RFP 21/22-01 to Benesch Engineering to conduct leak detection citywide in order to pinpoint undetected water leaks in the amount of \$116,192.00.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

- D. **Res. #22-137** Moved by **Tina Talley**, seconded by **Kathy Abdo** to concur with the Administration and introduce budget amendment 21/22-13 to recognize Fire Grant Donations and corresponding expenses related to the Grant revenue.

FUND/DEPT. ACCOUNT NO.	ACCOUNT NAME	CURRENT BUDGET	AMENDMENT	AMENDED BUDGET
FIRE				
Revenue				
205-336-675.000	Donations	\$-	\$14,439.00	\$14,439.00
205-336-675.003	Dntns/Grant Local	\$-	\$15,000.00	\$15,000.00
205-336-675.003	Dntns/Grant Local	\$-	\$4,654.00	\$4,654.00
Expense				
205-336-970.000	Capital Outlay	\$40,000.00	\$29,439.00	\$69,439.00
205-336-730.00	Operating Supplies	\$20,213.00	\$4,654.00	\$24,867.00

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

- E. FYI - Great Lakes Water Authority – No action from Council.

6. Clerk's Report – Ellen L. Craig-Bragg, Clerk

- A. **Res. #22-138** Moved by **Kathy Abdo**, seconded by **William Wadsworth** to approve the Study Session Request for Monday, June 6, 2022, at 6:45 p.m. to discuss the Quarterly Investment Report

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

- B. **Res. #22-139** Moved by **William Wadsworth**, seconded by **Tina Talley** to approve the Study Session Request for Monday, June 13, 2022, at 6:00 p.m. for a presentation on the Brownfield Plan Proposal from Ashley Capital.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

- C. **Res. #22-140** Moved by **Tina Talley**, seconded by **William Wadsworth** to approve the Public Hearing Request for Monday, June 13, 2022, at 7:00 p.m. for the Brownfield Plan Proposal.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

7. Treasurer's Report – Stacy Paige, Treasurer – No items under the Treasurer's Report

8. Public Comment

A member of the public addressed the City Council and residents regarding remote meetings for the organization they represent.

9. Unfinished Business - None

10. New Business - None

11. Warrant

- A. **Res. #22-141** Moved by **Kathy Abdo**, seconded by **Tina Talley** to approve Warrant #: 22-10 for checks presented in the amount of \$1,324,029.06.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams
Nays - None

Motion Carried Unanimously.

12. Communication

Councilperson Talley commented on passed City and community events. Councilperson Abdo reminded residents of the Veterans Memorial Restoration Committee Meeting on June 9th. Councilperson Williams reminded the residents that Forgotten Harvest will be at Romulus High School every Tuesday at 11:00 a.m. Councilperson Barden announced the softball game against St. John Lodge on June 11th.

13. Adjournment

Moved by **William Wadsworth**, seconded by **Kathy Abdo** to adjourn the meeting at 8:25 p.m.

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Nays - None

Motion Carried Unanimously.

I, Ellen L. Craig-Bragg, Clerk for the City of Romulus, Michigan do hereby certify the foregoing to be a true copy of the minutes of the regular meeting of the Romulus City Council held on May 23, 2022.



Ellen L. Craig-Bragg, City Clerk
City of Romulus, Michigan



City of Romulus

Minutes

Council Meeting Held: **June 6, 2022**

Item No. B.

General Description: Approval of Minutes from the Special Meeting - Study Session held on Monday, May 23, 2022, at 6:45 p.m. to discuss the Brownfield Plan Proposal.

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



**MINUTES OF THE ROMULUS CITY COUNCIL SPECIAL MEETING – STUDY SESSION
May 23, 2022**

Romulus City Hall Council Chambers, 11111 Wayne Rd, Romulus, MI 48174

The meeting was called to order at 6:45 p.m. by Mayor Pro-Tem John Barden.

1. Roll Call

Present: Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Absent / Excused: Celeste Roscoe, Eva Webb

Administrative Officials in Attendance:

Robert McCraight, Mayor

D'Sjonaun Hockenhull, Deputy Clerk

Administrative Staff in Attendance:

Stephen Hitchcock - City Attorney; Julie Wojtylko - Chief of Staff; Merrie Druyor - TIFA/DDA Director

- 2. Moved by Tina Talley, seconded by William Wadsworth to accept the Special Meeting - Study Session Agenda as presented.**

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Nays - None

Motion Carried Unanimously.

3. Discussion: Brownfield Plan Proposal

Merrie Druyor, TIFA/DDA Director, introduced Attorney Neil Silver. Attorney Silver reviewed the Brownfield procedure under state law. He reminded the City Council that the entire City is designated for redevelopment under Brownfield only for the specific purpose of addressing any parcel eligible for redevelopment. Brownfield properties are properties that are known to be obsolete or complicated by contamination or blight. The Brownfield Redevelopment Authority is a recommending body and will recommend to the City Council the adoption of the plan submitted by Ashley Capital. Director Druyor reminded the Council that a study session is scheduled for June 27th for Ashley Capital to present their proposed plan and a public hearing is also scheduled for the same day for the public to provide their input with final adoption being included under the Regular Meeting agenda later that evening.

4. Public Comment - None

- 5. Moved by William Wadsworth, seconded by Tina Talley to adjourn the Special Meeting at 6:58 p.m.**

Roll Call Vote: Ayes - Kathy Abdo, John Barden, Tina Talley, William Wadsworth, Virginia Williams

Nays - None

Motion Carried Unanimously.

I, Ellen L. Craig-Bragg, Clerk for the City of Romulus, Michigan do hereby certify the foregoing to be a true copy of the minutes of the Special Meeting – Study Session of the Romulus City Council held on May 23, 2022.

A handwritten signature in black ink, reading "Ellen L. Craig-Bragg". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Ellen L. Craig-Bragg, City Clerk
City of Romulus, Michigan



City of Romulus

Petitioner

Council Meeting Held: **June 6, 2022**

Item No. A.

General Description: Petitioner: Presence Church Petition: Approval of Prayer Walk on June 11, 2022

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



MEMORANDUM

To: Honorable City Council

From: Ellen L. Craig-Bragg, City Clerk

Cc: D’Sjonaun Hockenhull, Deputy City Clerk

Date: June 6, 2022

Re: Petitioner’s Request – Special Events: Prayer Walk

A Special Events Application & Request was filed in the Clerk’s Office on May 19, 2022.

The Petitioner is requesting approval for a Prayer Walk on June 11, 2022.

- The Prayer Walk will begin at the City’s Municipal Complex and participants will travel West on Goddard Rd. to Olive St; Olive St. to Bibbins St.; and end at the City’s Municipal Complex
- Participants of the event will use the public sidewalks and will not walk on the city streets.

The application was vetted through the Police/Ordinance, Fire, and Public Works Departments in which no objections were raised.

The petitioner requests approval from Council for a Prayer Walk on Saturday, June 11, 2022 for the route stated in this memo.

CITY COUNCIL AGENDA REQUEST FORM

Today's Date: 5/19/22 Proposed Agenda Date: 6/11/22
Name of person(s) proposing item: JAMES + HEATHER KIRBY
Please Print
Title: PASTORS (PRESENCE CHURCH)
Name of Business / Organization (if applicable) PRESENCE CHURCH
Address: 33200 ELORSE RD. ROMULUS, MI 48174
Contact Number: (734) 476-2565 Email Address: PASTORHEATHER@PRESENCEMI.COM

Item request is for:

☐ Information Only ☒ Action Item ☐ Discussion/Action ☐ Report ☐ Other

Brief description /summary of the agenda item (as you would like it to appear on the agenda):

PRAYER WALK - WILL START AT CITY HALL (WAYNE/GODDARD)
GODDARD TO OLIVE, TO BIBBENS, BACK TO WAYNE. (SIDEWALK ONLY)

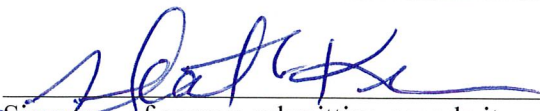
Does the subject concern a City Department? If so, please include name of department: NO

Does the subject concern a City Ordinance? If so, please include the Ordinance name or number. NO

Have you addressed your issue(s) with city/administrative staff? ☒ Yes ☐ No

Desired Outcome: PRAYER WALK ON JUNE 11TH.

This request must be submitted to the City Clerk no later than the Wednesday prior to the City Council meeting. Council meetings are held on the 1st, 2nd and 4th Mondays at 7:30pm. Items submitted after this deadline, will be scheduled for the following City Council meeting.


Signature of person submitting agenda item

6/19/22
Date

cc: Mayor
Mayor Pro Tem
Chief of Staff



SPECIAL EVENT APPLICATION

TEMPORARY USE PERMIT REQUIRED BY CITY CODE OF ORDINANCE
PLEASE CONTACT CLERK'S OFFICE FOR CHARGES PERTAINING TO YOUR EVENT

Please include the following with this application:

- ✓ Copy of State of Michigan License or Permit (If applicable)
- ✓ Copy of Driver's Licenses

OWNER/ASSOCIATED NAMES/CONTACT PERSONS

Name of Business: PRESENCE CHURCH

Corporation /Other Name:

Business Address: 33200 ECORSE RD. ROMULUS, MI 48174 Suite:

Business Phone: (734) 410-2565

Business Fax:

Business E-mail: OFFICE@PRESENCEMI.COM

Business Website: PRESENCEMI.COM

STATE LICENSES / PERMITS REQUIRED FOR YOUR (IF APPLICABLE, MUST PROVIDE COPY)

Are you required to have a State of Michigan License or Permit for this type of business? ____ YES ☒ NO If yes, please describe:

Type of Permit/license: _____

Permit/Lic #: _____ Date Issued _____ Date Expires _____

AFFIDAVIT AND SIGNATURE

(All Owners/Applicants listed must sign this Application)

I (We) HEATHER KIRBY am the OWNER/AGENT of said business making application for this Business Registration Certificate and/or am otherwise an authorized representative of said business. I (We) authorize the verification of the information provided on this application. I (We) am a citizen of the United States of America and otherwise authorized to do business under the laws of the state of Michigan and the United States of America. I (We) depose and state that all of the information provided in the foregoing application is true to the best of my knowledge, information, and belief.

1. Signature of applicant:

Date: 5/17/22

2. Signature of applicant:

Date:

NOTARY ACKNOWLEDGEMENT

STATE OF: Michigan

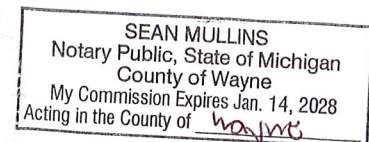
COUNTY OF: Wayne

On this 19th day of May 2022 before me personally appeared Heather Kirby
who being duly sworn, deposes and says that the statements and answers contained therein are true.

1-14-28
My Commission Expires

Jan Jan
Notary Public, Wayne County, Michigan

EVENT DATE IS JUNE 11TH, 2022
(SATURDAY)





City of Romulus

Petitioner

Council Meeting Held: **June 6, 2022**

Item No. B.

General Description: Petitioner: Emily Lewkowicz Presentation: A Learning Experience

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



MEMORANDUM

To: Honorable City Council

From: Ellen L. Craig-Bragg, City Clerk

Cc: D’Sjonaun Hockenhull, Deputy City Clerk

Date: June 6, 2022

Re: Petitioner’s Presentation

Emily Lewkowicz, a Romulus resident, will be presenting a brief slideshow on her suggestions of capitalizing on an opportunity via Detroit Metro Airports placement in the City.

She has provided a PowerPoint presentation for Council’s viewing.

From: noreply@civicplus.com
To: [Clerk Mailbox](#); [Mayor](#); [Barden, John](#)
Subject: Online Form Submittal: Council Agenda Request Form
Date: Sunday, May 29, 2022 9:34:59 PM

Council Agenda Request Form

Today's Date	5/29/2022
Proposed Agenda Date	5/6/2022
Name of person(s) proposing item	Ms. Emily Susan Lewkowicz
Title	A Learning Experience.
Name of Business/Organization (if applicable)	<i>Field not completed.</i>
Address	11979 Olive St
City	Romulus
State	MI
Zip Code	48174
Contact Number	3135751593
Email Address	EmilySusanLewkowiczInRomulus@gmail.com
(Section Break)	
Item request is for:	Action Item
Description/Summary	I have created a brief slideshow stating some facts about The Detroit Metropolitan Airport. I also have 3 suggestions to present to The City Council.
Does the subject concern a City Department?	No
If so, please include the name of the department(s)	<i>Field not completed.</i>
Does the subject concern a City	No

Ordinance?

If so, please include the Ordinance name or number:

Field not completed.

Have you addressed your issues(s) with city/administrative staff?

No

What is your desired outcome?

To inform the council that there is much potential in our city for improvements.

(Section Break)

Disclaimer

This request must be submitted to the City Clerk no later than the Wednesday prior to the City Council meeting. Council meetings are held on the 1st, 2nd and 4th Mondays at 7:30 p.m. Items submitted after this deadline will be scheduled for the following City Council meeting.

If presenting any handouts or documents pertaining to the topic, please plan to provide at least 12 copies.

If using other forms of media (PowerPoint Presentation, and/or Flash Drive), the final version must be submitted to the Clerk's office, before the Council meeting.

Electronic documents can be emailed to Clerk@romulusgov.com or you may utilize the upload tool below.

According to City Council policy, it is mandatory that the petitioner be present to be heard by Council.

Matters pertaining to personnel, litigation, and violations of laws and ordinances are excluded from the agenda. Rules of decorum as provided on the back of the Council meeting agenda will be observed.

Upload Supporting Documents

[Developing The Great City of Romulus Michigan.pdf](#)

(Section Break)

Electronic Signature Agreement

I agree.

Electronic Signature Emily S. Lewkowicz

Date Signed 5/29/2022

Email not displaying correctly? [View it in your browser.](#)

*Developing The Great City
of
Romulus Michigan*

Facts about The Detroit Metropolitan Airport...

- DTW annually serves approximately 32 million passengers, including 3.1 million business and pleasure travelers who stay in Michigan, thus benefiting the state of Michigan's economy.
- What about Romulus's economy?
- Visitors to metropolitan Detroit annually spend about \$1.7 billion after arriving through DTW, which has a total economic impact on the area of \$3.2 billion.
- And what does our city gain from these visitors?

- Visitors to Michigan annually spend about \$2.7 billion after utilizing DTW as their gateway to Michigan, this has a \$4.9 billion impact on the state's economy.
- If this is the gateway to Michigan, let's create a visitor center.
- Air transportation creates an economic impact that exceeds \$5 billion for Michigan, with \$1.7 billion in earning that supports more than 35,000 jobs.
- We have an opportunity to create better jobs for our people here.

*

- For the ten-county area around metropolitan Detroit, there is a total economic impact of more than \$8 billion, this supports more than 72,000 jobs and earnings to these workers and Michigan business owners of more than \$2.6 billion.
- New businesses will thrive here, we just have to select the correct ones for our city.

✈ **Let's capitalize on our Airports success!**

*

* Romulus should be a city that provides fun and entertainment to the guests who fly into our airport.

What do we have to offer them?

✈ **Let's capitalize on our Airports success!**

These are some of my
suggestions...

☐ **A Royal Botanical Garden**

~ There will also be a giant sequoia memorial site

☐ **A Flight Observation Park**

~ The area just north of the airport is ideal for this

☐ **A New City Hall Building**

~ This will also double as the Romulus Welcome Center

*

There is no doubt in my mind that the guests from the airport and hotels surrounding this area will provide the revenue needed to allow these places to stay operational, also our residents here will be able to enjoy their leisure time in a newly developed space.

FUNDING

I have a theory as to how these plans, if approved, will be funded.

Romulus creates a large sum of monetary value for our Federal Government.

If we should ask them to help us create a better space for our residents and guests to enjoy, why would they deny us that?

I believe this to be how all of this should work. Our city, our residents, and our government all collaborating to make our city even greater; for ourselves and for future generations to enjoy.

In Conclusion...

➤ I have chosen to bring these ideas to you, the City Council, in hopes that you too will see that our city is in need of a big change.

➤ If you have any questions or comments about my presentation today, Email is the best way to contact me.

EmilySusanLewkowiczInRomulus@gmail.com

Thank you all for listening.



City of Romulus

Petitioner

Council Meeting Held: **June 6, 2022**

Item No. C.

General Description: Romulus Trade Center (NorthPoint) Preliminary Condominium Plan

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



PLANNING COMMISSION SUMMARY REPORT TO THE CITY COUNCIL

SPR-2022-003; Romulus Trade Center (NorthPoint)

Preliminary Condominium Plan

Issued by Carol Maise, City Planner

12600 Wayne Road, Romulus MI 48174 Phone: (734) 955-4530 www.romulusgov.com

DATE: June 1, 2022
SUBJECT: SPR-2022-003; Romulus Trade Center (NorthPoint) Preliminary Condominium Plan
LOCATION: Vining between Wick and Smith Roads (DP# 80-040-99-0002-714, 80-039-99-0001-708 and 80-039-99-0001-707)
TYPE OF REVIEW: Preliminary Condominium Plan
REQUEST: Division of 211.02-acres into 8-unit industrial/commercial condominium subdivision
APPLICANT: Marc Gloyeske, NorthPoint Development

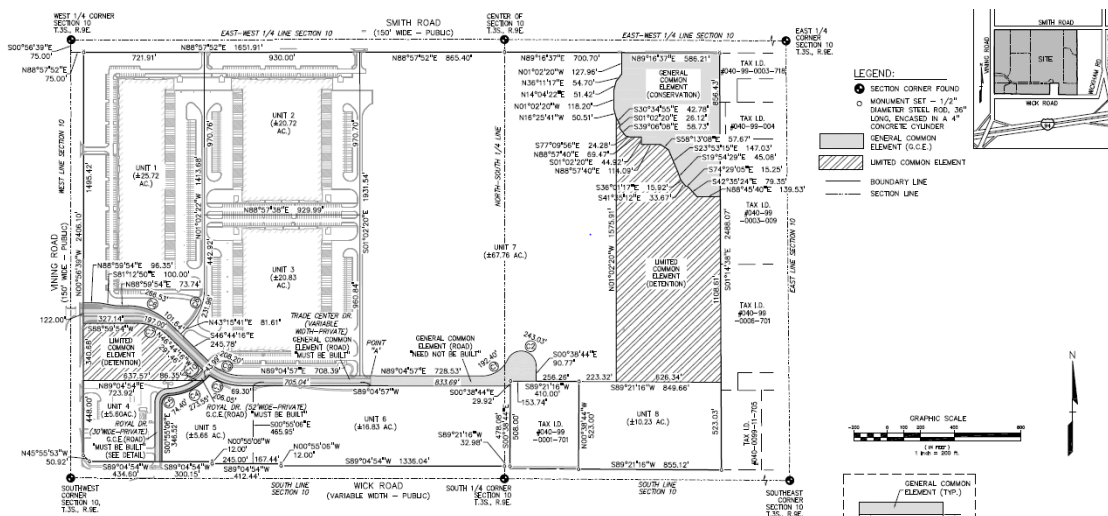
SITE INFORMATION/BACKGROUND

The subject site is 211.02 acres of property located on the east side of Vining Road between Wick and Smith Roads. With the exception of the Wick Road frontage, 171.54 acres has been conditionally rezoned to M-1, Light Industrial to accommodate 7 – 9, warehouse distribution buildings, all less than 350,000 SF in area. The Wick Road properties are zoned RC, Regional Center.

The Planning Commission has approved Phase 1 of the development which includes the Royal Farms Gas Station on 5.53 acres at the northeast corner of Vining and Wick. In addition to the gas station, a convenience store, restaurant, and car wash are proposed. Phase 1 also includes three industrial buildings which are currently under administrative site plan review.

The applicant is seeking **Preliminary Condominium Plan approval to divide the property into eight (8) separate building sites**, which requires a recommendation from the Planning Commission to the City Council in accordance with *Article 16, Condominiums* of the Zoning Ordinance and the *State of Michigan Act 59 of 1978 (Condominium Act)*.

The Preliminary Condominium Plan has been reviewed by OHM Advisors, the City's engineering consultant and City attorney. The Planning Commission reviewed the plan on April 18, 2022 (see attached minutes).



PLANNING COMMISSION ACTION ON PRELIMINARY CONDOMINIUM PLAN

At the April 18, 2022 meeting, based on the recommendation of OHM Advisors and the City Attorney, the Planning Commission took the following action:

MOTION by McAnally, support by Talon-Jemison, that the Planning Commission recommend conditional approval of SPR-2022-003; NorthPoint Preliminary Site Condominium Plan, to the City Council, subject to revisions in accordance with comments from the City Engineer and City Attorney prior to review by City Council.

Roll Call Vote: Ayes – McAnally, Talon-Jemison, Roscoe, Gbogboade, Long, Frederick, and Freitag. Motion carried 7-0.

SUMMARY AND RECOMMENDATION

The applicant has addressed all of the outstanding conditions to the satisfaction of the OHM Advisors and the City attorney. We respectfully recommend that the City Council make a motion to concur with the recommendation of the Planning Commission based on their findings and approve the Preliminary Condominium Plan for an 8-unit industrial/commercial condominium as follows:

*“To **approve** the the Preliminary Condominium Plan for **SPR-2022-003** for **Romulus Trade Center** for NorthPoint Development.*



Carol Maise, City Planner

10. PC – Cases Involving Advice or Input from the Planning Commission

11. Reports on Interest Designation

12. Communications

A. Project Status Report

B. Van Buren Township Notice of Distribution of Draft 2022 Sumpter Road Corridor Plan

13. Adjournment

4. Approval of Minutes

- A. Approval of the minutes of the regular Planning Commission meeting held on December 20, 2021.

Motion by McAnally, support by Frederick, to approve the minutes of the regular Planning Commission meeting held on December 20, 2021.

Roll Call Vote: Ayes – McAnally, Frederick, Roscoe, Talon-Jemison, Gbogboade, and Freitag.
Nays – none. Abstain – Long. **Motion Carried 6-0-1 (1 abstention).**

5. Comments from the Public on Non Agenda Items

None

6. New Business

B. SPR-2022-033; NorthPoint Condominium

Applicant: Marc Gloyeske; NorthPoint/Rachel Smith; PEA Group, Engineer

Request: Preliminary Site Condominium Plan Approval

Location: Vining/Smith; Parcel ID #80-039-99-0001-707, 80-039-99-0001-708,
80-040-99-0002-714

Project: Site Plan review for Industrial Condominium Subdivision

(Action required: **Make motion** to approve, approve with conditions, deny or postpone action on site plan)

City Attorney Hitchcock made explanatory comments regarding this request for preliminary approval of condominium documents for Northpoint's Industrial Condominium Subdivision. A condominium was a way to own property, and describe the relationship and responsibilities of the property owners with regard to the common elements on those properties.

City Attorney Hitchcock had provided written comments regarding this request, as had OHM. Today there had been a Zoom meeting with the applicant, during which the applicant agreed to make corrections reflecting the comments in the letters. Any motion for approval should contain a condition that the issues called out in the OHM review and in his letter be resolved, as NorthPoint will have to provide revised documents showing the corrections.

After a discussion of process, Chair Freitag invited the applicants to make their presentation.

James Kraatz, NorthPoint Development, 4025 W. 41st St. Suite 500, Riverside MO, was present on behalf of this application. John Cameron, Dickinson Wright, 200 Ottawa Ave. NW, Grand Rapids, was also present.

Mr. Kraatz said that as mentioned, they agreed to make the changes noted in the City Attorney's and OHM's review letters.

City Attorney Hitchcock explained that the biggest change was that all the property that was subject to the project's 3 phases be part of the condominium document, which could later be amended to further divide the two big parcels that were currently vacant. The City wanted to make sure that going forward, all the property was going to be bound by the terms and conditions of the condominium document, which includes obligations and maintenance for the common areas, and the sewer, water, and storm system lines that belong to the condominium association and not to the City, so that there would not be any question by any future buyer that there is a condominium agreement that overlays the property, and anyone who buys a unit or a lot will have certain responsibilities via the condominium documents.

Engineering Consultant Hakala, OHM, concurred with the explanation given, and was satisfied that the items listed in her review letter were being addressed.

In response to a question from Chair Freitag, Mr. Kraatz said that construction for the gas station/convenience store should begin soon; construction drawings will be submitted within a few weeks.

In response to a question from Commissioner Roscoe, City Planner Maise said this request would probably go before City Council in May.

Mr. Cameron thanked the Commission and the City for their work on this project.

Chair Freitag indicated she was ready for a motion.

MOTION by McAnally, support by Talon-Jemison, that the Planning Commission recommend conditional approval of SPR-2022-003; NorthPoint Preliminary Site Condominium Plan, to the City Council, subject to revisions in accordance with comments from the City Engineer and City Attorney prior to review by City Council.

Roll Call Vote: Ayes – McAnally, Talon-Jemison, Roscoe, Gbogboade, Long, Frederick, and Freitag. **Motion carried 7-0.**

A. SPR-2021-012; Avid Hotel

Detroit ▼ Troy ▼ Florida

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June 2, 2022

Carol Maise
City of Romulus
11111 Wayne Road
Romulus, MI 48174

RE: *Romulus Trade Center Condominium Northpoint Development LLC*

Dear Carol:

I have reviewed the revised Master Deed for the Romulus Trade Center Condominium dated June 1, 2022. The applicant has addressed all the changes I have requested, and I am satisfied with the Master Deed presented to Council for its review and approval.

Should you have any questions, please call.

Very truly yours,

GIARMARCO, MULLINS & HORTON, P.C.



Stephen J. Hitchcock

SJH/ss

ARCHITECTS. ENGINEERS. PLANNERS.



June 2, 2022

Planning Department
Carol Maise, City Planner
City of Romulus
12600 Wayne Road
Romulus, Michigan 48174

Subject: Romulus Trade Center Condominium (SPR-2022-003)
Condominium Review
OHM Job No. 0155-21-1230

Dear Ms. Maise:

The applicant, NP Lordstown 173, LLC is requesting condominium plan approval for a proposed development located on the north side of Wick Road east of Vining. The plans were prepared by PEA Group and the Master Deed was prepared by Dickinson Wright PLLC. We have completed our review from an engineering standpoint with respect to the Zoning Ordinance, more specifically amendment 1.249.

The project was discussed and conditionally recommended for approval at the April 18, 2022 Planning Commission meeting. Subsequent to that meeting, the applicant submitted a revised package that satisfactorily addressed the outstanding issues.

Sincerely,
OHM Advisors


Jessica Katers, PE

MASTER DEED

ROMULUS TRADE CENTER CONDOMINIUM

A Business Condominium

Wayne County Subdivision Plan No. _____

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MASTER DEED

ROMULUS TRADE CENTER CONDOMINIUM

A Business Condominium

THIS MASTER DEED has been executed as of _____, 2022, by NP LORDSTOWN 173, LLC, a Missouri limited liability company, whose address is 4825 NW 41st Street, Suite 500, Riverside, Missouri 64150 (the “Developer”), pursuant to the provisions of the Michigan Condominium Act, as amended (the “Act”).

R E C I T A L S :

A. The Developer desires to establish the real property described in Article III below, and all appurtenances to it, together with all improvements at any time located upon that property, as a business condominium under the Act.

B. The Developer has prepared and executed this Master Deed to accomplish this purpose.

C. The Bylaws attached to this Master Deed as Exhibit A and the Condominium Subdivision Plan attached to this Master Deed as Exhibit B are incorporated by reference into it.

ARTICLE I DEFINITIONS

When used in any of the Condominium Documents (as hereinafter defined) , or in any other instrument pertaining to the Condominium or the creation or transfer of any interest in it, the following terms shall carry the definitions which follow them unless the context clearly indicates to the contrary:

(a) “Act” or “Michigan Condominium Act” means the Michigan Condominium Act, being Act 59 of the Public Acts of 1978, as amended.

(b) “Applicable Law” means any and all laws, statutes, rules, regulations or ordinances applicable to the Condominium or any unit.

(c) “Association” means the Romulus Trade Center Association, a Michigan nonprofit corporation, the “association of co-owners” contemplated by Section 3(4) of the Act.

(d) “Bylaws” means Exhibit A attached to this Master Deed, the Bylaws for the Condominium.

(e) “Common Elements,” where used without modification, means both the General and Limited Common Elements, as defined in Article VI of this Master Deed.

(f) "Condominium" means Romulus Trade Center Condominium.

(g) "Condominium Documents" means and includes this Master Deed and Exhibit A and Exhibit B attached to it.

(h) "Condominium Premises" means and includes the land described in Article III of this Master Deed, and all easements, rights, and appurtenances belonging to the Condominium, as described below.

(i) "Condominium Subdivision Plan" means Exhibit B attached to this Master Deed.

(j) "Condominium unit" or "unit" each means that portion of the Condominium designed and intended for separate ownership and use, as described in Article VI of this Master Deed and on the attached Exhibit B. All units are "business units" as that term is defined in the Act.

(k) "Developer" means NP LORDSTOWN 173, LLC, a Missouri limited liability company, and its successors and assigns. The Developer of the Condominium owns the real property dedicated to the Condominium and will develop the Condominium.

(m) "Expenses of Administration" means all common expenses of the Condominium, such as those described in Article IV of the Bylaws. All Expenses of Administration shall be paid by the Association.

(n) "Receipts of Administration" means all sums received by the Association in connection with the administration of the Condominium, such as those described in Article IV of the Bylaws.

(o) "Unit owner," or "member" each means a person, firm, corporation, limited liability company, partnership, association, trust, or other legal entity or any combination of those persons and/or entities who owns a Condominium unit within the Condominium. A unit owner includes land contract vendees (to the extent the land contract vendees are not in default) and land contract vendors, but both parties are nonetheless considered jointly and severally liable under the Act and the Condominium Documents.

Words or terms not defined in this Master Deed, but defined in the Act, shall carry the meanings given them in the Act unless the context clearly indicates to the contrary. Whenever any reference is made to one gender, the same shall include a reference to any and all genders where such a reference would be appropriate; similarly, whenever a reference is made to the singular, a reference shall also be included to the plural where such a reference would be appropriate, and vice versa.

ARTICLE II DEDICATION

The Developer hereby establishes Romulus Trade Center Condominium (Wayne County Subdivision Plan No. _____) as a business condominium under the Act. The

Condominium shall be held, conveyed, encumbered, leased, occupied, improved, and in every manner utilized subject to (i) the provisions of this Master Deed, and (ii) the Act. The provisions of this Master Deed shall run with the land included in the Condominium and bind the Developer and all persons acquiring or owning an interest in the Condominium, or in the real estate dedicated to the Condominium, and their grantees, successors, assigns, heirs, and personal representatives. The remainder of this Master Deed has been set forth in furtherance of the establishment of the Condominium.

ARTICLE III LEGAL DESCRIPTION

The land which is dedicated to the Condominium established by this Master Deed is legally described as follows:

LEGAL DESCRIPTION (Per PEA Group)

Part of the Southwest 1/4 and part of the Southeast 1/4 of Section 10, T3S-R9E, City of Romulus, Wayne County, Michigan, being more particularly described as follows:
Commencing at the West 1/4 Corner of Section 10; thence along the West Line of Section 10 and centerline of Vining Road (150' wide), S00°56'39"E, 75.00 feet; thence along the extension of the south line of Smith Road (150' wide), N88°57'52"E, 75.00 feet to the intersection of the east line of Vining Road and south line of Smith Road, said point also being the POINT OF BEGINNING;
thence along the south line of Smith Road, N88°57'52"E, 2517.31 feet;
thence continuing along said south line, N89°16'37"E, 1286.91 feet;
thence S01°14'38"E, 2488.07 feet to the north line of Wick Road (variable width);
thence along said north line, S89°21'16"W, 855.12 feet;
thence N00°38'44"W, 523.00 feet;
thence S89°21'16"W, 410.00 feet;
thence S00°38'44"E, 508.00 feet to the aforementioned north line Wick Road;
thence along said north line the following courses: S89°21'16"W, 32.98 feet and S89°04'54"W, 1336.04 feet and N00°55'06"W, 12.00 feet and S89°04'54"W, 412.44 feet and N00°55'06"W, 12.00 feet and S89°04'54"W, 734.75 feet;
thence N45°55'53"W, 50.92 feet to the aforementioned east line of Vining Road; thence along said east line, N00°56'39"W, 2406.10 feet to the aforementioned intersection of said Vining Road and Smith Road and to the POINT OF BEGINNING.
Containing 211.02 acres of land, more or less.

ARTICLE IV PLANS

While no architectural plans exist for the Condominium, a Condominium Subdivision Plan, has been filed with the City of Romulus, Wayne County, Michigan. The improvements contained in the Condominium, including boundaries, dimensions, and areas of each of the eight units, are set forth in the Condominium Subdivision Plan.

ARTICLE V TITLE AND NATURE

Each unit has been designed and is intended for separate ownership and use, as evidenced by each unit having direct access to a Common Element of the Condominium. Each unit owner in the Condominium shall enjoy the exclusive right to occupy its unit, and to the extent provided in Article VI, Part B, below, Limited Common Elements appurtenant thereto, and shall have undivided and inseparable rights to share with other unit owners the use and enjoyment of the General Common Elements.

ARTICLE VI COMMON ELEMENTS; TRAFFIC SIGNAL POLES

A. General Common Elements.

The General Common Elements are:

(1) The real property described in Article III of this Master Deed, excluding the Limited Common Elements and the units, but including easements within the boundaries of any unit or elsewhere within the Condominium, such as the 30 foot wide access road known as Royal Drive lying across unit 4;

(2) Trade Center Drive, the private road running east and west through the Condominium, and all utility rights-of-way within the Condominium;

(3) The Conservation Area in the northeast corner of the condominium, which may not be developed in any way;

(4) Any electrical distribution system throughout the Condominium (excluding facilities which serve individual units);

(5) Any communications wiring system throughout the Condominium (excluding facilities which serve individual units);

(6) Any gas distribution network throughout the Condominium (excluding facilities which serve individual units);

(7) The water and sewer (including storm sewer) system throughout the Condominium (excluding facilities which service individual units);

(8) Any improvements to General Common Element real property, such as entrance way improvements, sidewalks, trees, shrubs, other plantings, street lighting, and signs;

(9) Any landscape irrigation system throughout the Condominium, including that portion within a unit; and

(10) Any other elements of the Condominium not herein designated as Common Elements which are not enclosed within the boundaries of a unit and which

are intended for common use or necessary to the existence, upkeep, and safety of the Condominium as a whole.

Some or all of the utility lines, systems, and equipment described above may be owned by the local public authority or by the company that is providing the pertinent service. Accordingly, such utility lines, systems, and equipment shall be General Common Elements only to the extent of the unit owners' interest therein, if any, and Developer makes no warranty with respect to the nature or extent of such interest. Each unit owner will be responsible for connecting the utilities for its unit to the distribution lines lying within the rights-of-way at its sole expense.

B. Limited Common Elements.

The Limited Common Elements are the two Detention Ponds depicted on the Condominium Subdivision Plan in the southwest corner and the eastern portion of the Condominium, respectively, both of which shall be appurtenant to Units 1, 2, 3, and 7, and which (except to the extent they contain General Common Elements) shall be limited in use to the owners of the unit they lie within or abut or to which they appertain.

C. Upkeep of Common Elements; Utility Bills.

The respective responsibilities for the maintenance, decoration, repair and replacement of the Common Elements, and for the payment of utility bills, are as follows:

(1) The Association shall be responsible for repairing, maintaining, replacing, renovating, and decorating the Limited Common Elements (except to the extent they contain General Common Elements) but the cost therefor (the "Cost") shall be borne by the owners of the units to which such Limited Common Elements appertain, except to the extent caused by the act or neglect of a unit owner or that unit owner's guests or invitees, in which case the latter unit owner shall be solely responsible for the cost. The Association shall allocate the Cost to the benefitted units on the basis of their respective percentages of value and collect it from their owners.

(2) The Association shall be responsible for maintaining, decorating, repairing and replacing all General Common Elements, and the cost therefor shall be borne by the unit owners in accordance with their respective percentages of value (except that the owner of Unit 4 shall not be required to share in any cost pertaining to Trade Center Drive), unless the need for maintenance, repair or replacement is due to the act or neglect of a unit owner or the unit owner's guests or invitees, in which case the latter unit owner shall be wholly responsible for the cost unless and to the extent any such damage is covered by insurance. Without limiting the generality of the foregoing, the Association shall (i) preserve the Conservation Area as a woodland, with appropriate planting and tree preservation methodology, and (ii) except to the extent they are located within the boundaries of a unit, maintain in a good and attractive manner all site amenities, such as benches, tables and sidewalks, water features and landscaped areas.

Any maintenance, repair or replacement obligation to be borne by a unit owner may, if not performed by the unit owner within thirty (30) days, be performed by or under the direction of the Association, and the cost may be assessed against the responsible unit owner.

D. Residual Damage to Units.

Damage to a unit, or any improvement or property located within the boundaries of the unit, caused by the repair, replacement, or maintenance activities of the Association shall be repaired at the expense of the Association.

E. Use of Units and Common Elements.

No unit owner shall use its unit or the Common Elements in any manner (a) inconsistent with the purposes of the Condominium or (b) which will unreasonably interfere with or impair the rights of any other unit owner in the use and enjoyment of its unit or the Common Elements.

No unit owner shall be exempt from contributing toward Expenses of Administration (as defined in the Bylaws) or from the payment of assessments against its unit by reason of non-use or waiver of use of the Common Elements or by the abandonment of its unit.

F. Damage to Certain Traffic Signal Poles.

If the traffic signal and/or traffic signal poles at the intersection of Vining Road and Trade Center Drive are so badly damaged by a vehicle that they are required to be replaced, the City shall first attempt to seek reimbursement from the responsible party or that party's insurance carrier. If the City, after making a good faith effort, is unable to recover the cost of replacement, the Association will reimburse the City for that cost and then be subrogated to the City's claim against the responsible party. Expenses incurred by the Association under this Part F are Expenses of Administration.

ARTICLE VII UNIT DESCRIPTION AND PERCENTAGE OF VALUE

A. Description.

The Project consists of eight units, numbered 1-8 inclusive. A description of each unit is set forth in the Subdivision Plan. Each unit shall consist of all that space bounded on the sides, bottom and top, respectively, by the unit perimeter boundaries, all as shown on the plans and sections on Exhibit B hereto and delineated in heavy outlines, but not any Common Elements contained therein. The dimensions shown on the Subdivision Plan for each unit have been calculated by PEA Group, Troy, MI.

B. Percentages of Value.

The total value of the Condominium is one hundred percent (100%). Based upon their anticipated allocable expenses of maintenance (as they are presently configured), the following percentages of value are assigned to the units:

Unit 1	29.5%
Unit 2	29.5%
Unit 3	29.5%
Unit 4	9.5%
Unit 5	.5%
Unit 6	.5%
Unit 7	.5%
Unit 8	.5%
	<u>100%</u>

So as to maintain a consistency of approach, and as provided below, the percentages of value assigned to units 5, 6, 7, and 8 will be modified and allocated to various portions of them as they are subdivided and construction is commenced thereon.

ARTICLE VIII EASEMENTS

A. Easements for Maintenance.

If all or any portion of a unit or Common Element encroaches upon another unit or Common Element due to shifting, settling or moving of a building, or due to survey errors, construction deviations, reconstruction, replacement, renovation or repair, reciprocal easements, respectively benefiting and burdening each such unit, shall exist for the maintenance of the encroachment for so long as the encroachment exists, and for maintenance thereof after rebuilding in the event of any destruction.

B. Common Elements and Utilities.

Perpetual easements shall also exist to, through, over, under and across the Condominium, including all units and interior walls, (1) for the maintenance and repair (including replacement) of Common Elements, which easements shall be administered by the Association, (2) as may be appropriate for the installation, inspection and continuing maintenance and repair (including replacement) by the responsible governmental entity or utility company of all public utilities in the Condominium, such as light, heat, power, sewer, water, and communications.

C. Public Easements.

Without limiting the generality of the grant set forth in Part B above, various public easements are depicted on the Condominium Subdivision Plan. In addition, an easement is hereby declared to exist for the benefit of the public to allow pedestrian access to the sidewalks along Trade Center Drive and in the General Common Element conservation area, including the trails leading to and around the Limited Common

Element Detention Area on the east side of the Condominium Project (all as depicted on the Condominium Subdivision Plan).

D. Service Lines

Perpetual easements shall exist over, across, and beneath all portions of the condominium, including each unit, for

(1) the installation, maintenance, and repair (including reconstruction) of public and private water, sewer (including storm sewer) and storm water laterals, leads, and service lines; and

(2) surface and storm water drainage, including pump stations related thereto.

E. The sidewalks within the condominium, including those within units, are encumbered with an easement for the benefit of all units; provided, however, that those sidewalks within units shall not be financially supported by the Association.

F. Financial Support of Easements.

The Association shall financially support all easements described in this Article VIII or otherwise pertaining to the Condominium, regardless of the rights of others to utilize such easements, except to the extent the Condominium Documents provide otherwise.

ARTICLE IX ALTERATIONS

A. Developer Rights.

(i) Until the Developer has sold all of the units in the Condominium, it may, in its discretion and without the consent of any other person (but only in accordance with all applicable government regulations), (i) modify the dimensions of unsold units and the General Common Elements and Limited Common Elements appurtenant to any unit, by enlargement, combination, division, subdivision, or reduction in size or relocation or removal of boundaries between units (with or without combining the units), and (ii) make such other alterations as it deems necessary or appropriate to any unsold units or Common Elements. In connection with a change in the layout of any unit, the Developer also reserves the right to convert space, in the Developer's sole discretion, into portions of a unit, General Common Elements, Limited Common Elements, or any combination of these, and the responsibility for maintenance, repair, and replacement therefor may be assigned by Developer in an amendment to the Master Deed. No unit altered or modified in accordance with the provisions of this Section shall be conveyed until an amendment to this Master Deed effectuating such modification is recorded. The Developer shall, if appropriate, in connection with any such amendment, readjust percentages of value for all units in a manner which gives recognition to such unit or Common Element modifications and the method of determining percentages of value for

the Condominium described in Article VII.B above. The precise determination of the readjustments in percentages of value shall be made within the sole judgment of Developer.

B. Convertible Area.

All space in the Condominium, since it is or could be affected by a modification described in Article IX, Part A, above, is designated as “convertible area,” whether or not so designated on the Condominium Subdivision Plan.

C. Infrastructure.

Additional infrastructure may be required if, as, and when units are subdivided or the Condominium Project is otherwise modified pursuant to Article IX, Part A, above. That additional infrastructure will be depicted on an amendment to the Condominium Subdivision Plan.

D. Subdivision.

As provided in Section IX, Part A, the Developer is permitted to subdivide units. Subdivision shall be performed in accordance with Section 49 of the Act.

E. Boundary Relocation.

If non-Developer Co-owners owning adjoining units, or a non-Developer Co-owner and Developer owning adjoining units, desire to relocate the boundaries between those units, then the Board of Directors of the Association shall, upon written application of the Co-owners, accompanied by the written approval of all mortgagees of record of the adjoining units, forthwith prepare or cause to be prepared an amendment to this Master Deed duly relocating the boundaries. If appropriate, in connection with any such amendment, the percentages of value for the affected units shall be adjusted in a manner which gives recognition to such modifications and the method of determining percentages of value for the Condominium described in Article VII.B above. Boundary relocation shall be performed in accordance with Section 48 of the Act.

F. Master Deed Amendment.

All of the co-owners and mortgagees of units and other persons interested or to become interested in the Condominium Project from time to time shall be deemed to have unanimously consented to an amendment or amendments to this Master Deed to effectuate the provisions of this Article IX, including the reallocation of the percentages of value assigned to each unit. All such interested persons irrevocably appoint Developer or the Condominium Association as their agents and attorneys-in-fact for the purpose of executing any such amendment or amendments. This power shall be deemed coupled with an interest.

F. Governmental Requirements.

All relocations of boundaries for the overall Condominium shall conform to the setback and other requirements of the ordinances of the City of Romulus for minimum lot width, lot area, and building setback requirements for the district in which the Condominium is located, and shall be approved by the governmental agency having jurisdiction. The terms and conditions of a Conditional Rezoning and Development Agreement between the Developer and the City of Romulus, a copy of which is attached, are hereby incorporated by reference into this Master Deed. None of the terms of the Conditional Zoning and Development Agreement between the City of Romulus and Developer are amended or waived by any provision of this Master Deed.

ARTICLE X CONVERTIBLE AREA

- A. Except as provided in Article IX, the Condominium is not convertible.
- B. The Condominium Project will contain in its entirety no more than 25 units.
- C. The right to convert convertible area shall expire 6 years from the date this Master Deed is recorded.
- D. While the Developer presently intends that any conversion of convertible area will be reasonably compatible with other units in the Condominium Project, the nature, appearance and location of the structures all additional units, if any, placed upon the convertible area, and any structures to be built therein, will be as may be determined by the Developer in its sole judgment without any restrictions whatsoever.
- E. There are no restrictions as to the types of condominium units that may be created on the convertible area, except that all such units must be "business condominium" units.
- F. Conversion of the convertible area shall be performed in accordance with Sections 38 and 41 of the Act.

ARTICLE XI CONTRACTION OF CONDOMINIUM

The Condominium is not contractible except as permitted by Section 67 of the Act.

ARTICLE XII ENLARGEMENT OF CONDOMINIUM

The condominium is not expandable.

ARTICLE XIII AMENDMENT

1. The Condominium shall not be terminated, vacated, revoked or abandoned except as provided in the Act, nor may any of the provisions of this Master

Deed, including Exhibit A and Exhibit B, or any other Condominium Documents, be amended, except as provided in this Master Deed or the Act.

2. The Condominium Documents may be amended by the Developer or the Association without the consent of unit owners or mortgagees for any purpose if the amendment does not materially alter or change the rights of a unit owner or mortgagee. Amendments which do not materially alter or change the rights of a unit owner or mortgagee include, but are not limited to:

(a) To modify the types and sizes of unsold units and their appurtenant Common Elements;

(b) To correct survey or other errors made in the Condominium Documents;

(c) To correct arithmetic errors, typographical errors, survey or plan errors, deviations in construction or any other errors in the Master Deed, Condominium Subdivision Plan or Bylaws, or to correct errors in the boundaries or locations of improvements;

(d) To clarify or explain the provisions of this Master Deed or its exhibits;

(e) To comply with the Act or rules promulgated thereunder or with any requirements of any governmental or quasi-governmental agency or any financing institution providing mortgages on units in the Condominium Premises;

(f) To create, grant, make, define or limit easements affecting the Condominium Premises;

(g) To record an "as built" Condominium Subdivision Plan and/or consolidating Master Deed and/or to designate any improvements shown on the Condominium Subdivision Plan as "must be built," subject to any limitations or obligations imposed by the Act; and

(h) To terminate or eliminate reference to any right which Developer has reserved to itself herein.

3. This Master Deed, the Bylaws (subject to any restrictions set forth in this Article XIII or elsewhere in this Master Deed), and the Condominium Subdivision Plan may be amended, even if the amendment will materially alter or change the rights of the unit owners or mortgagees by an affirmative vote of two thirds (in value) of the votes of the unit owners and, subject to the provisions of Section 6 below, two-thirds of the mortgagees. A unit owner will have one vote for each unit owned, including, as to the Developer, all units created by the Master Deed but not yet conveyed. The required votes may be achieved by written consents or by votes at any regular annual meeting or a special meeting called for such purpose, or a combination of votes and consents. Mortgagees are not required to appear at any meeting of unit owners and their approval

may be solicited through written ballots pursuant to Section 6 below. Any mortgagee ballots not returned within ninety (90) days of mailing shall be deemed received and cast in favor of approval for the change.

4. Unit owners shall be notified in writing at their addresses reflected in the Condominium records of proposed amendments not less than ten (10) days before the amendment is recorded.

5. The rights reserved to Developer in this Master Deed or in the Bylaws attached hereto as Exhibit A may not be amended except by or with the consent of the Developer.

6. To the extent the Act or the Condominium Documents require a vote of mortgagees of units on amendment of the Condominium Documents, the following procedures apply:

The date on which the proposed amendment is approved by the requisite majority of unit owners is considered the "Control Date."

Only those mortgagees who hold a duly recorded first mortgage or duly recorded assignment of a first mortgage against one or more Condominium units in the Condominium on the Control Date are entitled to vote on the amendment. Each mortgagee entitled to vote shall have one vote for each Condominium unit in the Condominium that is subject to its mortgage or mortgages, without regard to how many mortgages the mortgagee may hold on a particular condominium unit.

The Association shall give a notice to each mortgagee entitled to vote containing all of the following:

- (a) A copy of the amendment or amendments as passed by the unit owners;
- (b) A statement of the Control Date;
- (c) A statement of the number of Condominium units subject to the mortgage or mortgages of the mortgagee;
- (d) The date by which the mortgagee must return its ballot;
- (e) An envelope addressed to the person authorized by the unit owners for tabulating mortgagee votes;
- (f) A statement containing language in substantially the following form:

"A review of the Association records reveals that you are the holder of one (1) or more mortgages recorded against title to one (1) or more units in Romulus Trade Center Condominium. The unit owners of the Condominium adopted the attached Amendment to the Condominium Documents on [insert the Control Date]. Pursuant to the terms of the

Condominium Documents and/or the Michigan Condominium Act, you are entitled to vote on the Amendment. You have one (1) vote for each unit that is subject to your mortgage or mortgages.

The Amendment will be considered approved by first mortgagees if it is approved by both of those mortgagees. In order to vote, you must indicate your approval or rejection on the enclosed ballot, sign it, and return it no later than ninety (90) days after this notice (which date coincides with the date of mailing). Failure to timely return a ballot will constitute a vote for approval. If you oppose the Amendment, you must vote against it.”

(g) A ballot providing spaces for approving or rejecting the amendment and a space for the signature of the mortgagee or an officer of the mortgagee.

The Association shall mail the notice described in the preceding Subsection (f) to the first mortgagee at the address provided in the mortgage or assignment of mortgage for notices.

The amendment is considered to be approved by the first mortgagees if it is approved by both of the mortgagees whose ballots are received or are deemed to have been received and cast in favor of approval.

The Association shall maintain a copy of the notice, proofs of mailing of the notice, and the ballots returned by mortgagees for a period of two (2) years after the Control Date.

Notwithstanding any provision of the Condominium Documents to the contrary, first mortgagees are entitled to vote on amendments to the Condominium Documents only under the following circumstances:

(a) Termination of the Condominium;

(b) A change in the method or formula used to determine the Percentage of Value assigned to a unit subject to the mortgagee’s mortgage;

(c) A reallocation of responsibility for maintenance, repair, replacement, or decoration of a Condominium unit, its appurtenant Limited Common Elements, or the General Common Elements from the Association to the Condominium unit subject to the mortgagee’s mortgage;

(d) Elimination of a requirement for the Association to maintain insurance on the Condominium as a whole or a Condominium unit subject to the mortgagee’s mortgage or reallocation of responsibility for obtaining or maintaining, or both, insurance from the Association to the Condominium unit subject to the mortgagee’s mortgage;

(e) The modification or elimination of an easement benefiting the Condominium unit subject to the mortgagee’s mortgage;

(f) The partial or complete modification, imposition, or removal of leasing restrictions for Condominium units in the Condominium; and

(g) Amendments requiring the consent of all affected mortgagees under Section 90 (4) of the Act.

7. An amendment to this Master Deed or other recorded Condominium Documents shall not be effective until the amendment is recorded.

8. A copy of the recorded amendment shall be delivered to each unit owner.

9. A person causing or requesting an amendment to the Condominium Documents shall be responsible for the costs and expenses of the amendment, except for amendments adopted by a vote of a prescribed majority of unit owners and mortgagees, the costs of which shall be deemed Expenses of Administration (as defined in the Condominium Bylaws).

ARTICLE XIV CONTROLLING LAW

The provisions of the Act, and of the other laws of the State of Michigan and of the United States, as well as the ordinances of the City of Romulus, shall be applicable to and govern this Master Deed and all activities related hereto.

ARTICLE XV LIMITATION ON LIABILITY

If the Association or any one or more unit owners shall secure a judgment against the Developer, satisfaction of that judgment shall be had only out of the Developer's equity, if any, in the Condominium.

ARTICLE XVI ASSIGNMENT

Any and all of the rights and powers granted or reserved to the Developer in the Condominium Documents or by law, including the right and power to approve or disapprove any act, use, or proposed action or any other matter or thing, may be assigned by it to any other entity or to the Association.

IN WITNESS WHEREOF, the undersigned has executed this Master Deed as of the date first written above.

NP Lordstown 173, LLC, a Missouri
limited liability company

By: NorthPoint Development, LLC,
its Manager

By:

Nathaniel Hagedorn, Manager,

STATE OF MISSOURI)
 : ss.
COUNTY OF PLATTE)

Acknowledged before me in Platte County on _____, 2022, by
Nathaniel Hagedorn, as Manager of NorthPoint Development, LLC, a Missouri limited
liability company, as manager and on behalf of said NP Lordstown 173, LLC, a Missouri
limited liability company.

Notary Public, Platte County, Missouri
Acting in the County of Platte
My commission expires: _____

THIS MASTER DEED WAS PREPARED BY
AND UPON RECORDATION SHOULD BE RETURNED TO:

John G. Cameron, Jr.
DICKINSON WRIGHT PLLC
200 Ottawa Avenue, N.W., Suite 1000
Grand Rapids, Michigan 49503-2427
Telephone: (616) 336-1010

4882-8663-3245 v4 [92744-1]

WAYNE COUNTY CONDOMINIUM SUBDIVISION
PLAN NO. _____
EXHIBIT "B" TO THE MASTER DEED OF
ROMULUS TRADE CENTER
CONDOMINIUM
CITY OF ROMULUS, WAYNE COUNTY, MICHIGAN.

LEGAL DESCRIPTION:

(OVERALL PARCEL)
Part of the Southwest 1/4 and part of the Southeast 1/4 of Section 10, T3S-R9E, City of Romulus, Wayne County, Michigan, being more particularly described as follows:
Commencing at the West 1/4 Corner of Section 10; thence along the West Line of Section 10 and centerline of Vining Road (150' wide), S00°56'39"E, 75.00 feet; thence along the extension of the south line of Smith Road (150' wide), N88°57'52"E, 75.00 feet to the intersection of the east line of Vining Road and south line of Smith Road, said point also being the POINT OF BEGINNING;
thence along the south line of Smith Road, N88°57'52"E, 2517.31 feet;
thence continuing along said south line, N89°16'37"E, 1286.91 feet;
thence S01°14'38"E, 2488.07 feet to the north line of Wick Road (variable width);
thence along said north line, S89°21'16"W, 855.12 feet;
thence N00°38'44"W, 523.00 feet;
thence S89°21'16"W, 410.00 feet;
thence S00°38'44"E, 508.00 feet to the aforementioned north line Wick Road;
thence along said north line the following courses: S89°21'16"W, 32.98 feet and S89°04'54"W, 1336.04 feet and N00°55'06"W, 12.00 feet and S89°04'54"W, 412.44 feet and N00°55'06"W, 12.00 feet and S89°04'54"W, 734.75 feet;
thence N45°55'53"W, 50.92 feet to the aforementioned east line of Vining Road;
thence along said east line, N00°56'39"W, 2406.10 feet to the aforementioned intersection of said Vining Road and Smith Road and to the POINT OF BEGINNING.

Containing 211.02 acres of land, more or less.

SURVEYOR AND PREPARER

PEA GROUP
1849 POND RUN
AUBURN HILLS, MI 48326

DEVELOPER

NP LORDSTOWN 173, LLC
4825 NW 41ST STREET
SUITE 500
RIVERSIDE, MO 64150

ATTENTION: WAYNE COUNTY REGISTER OF DEEDS

THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE ASSIGNED IN CONSECUTIVE SEQUENCE. WHEN A NUMBER HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE SHOWN PROPERLY IN THE TITLE ON THIS SHEET AND IN THE SURVEYOR'S CERTIFICATE SHOWN ON SHEET NO. 2.

THIS CONDOMINIUM SUBDIVISION PLAN IS NOT REQUIRED TO CONTAIN DETAILED PROJECT DESIGN PLANS PREPARED BY THE APPROPRIATE LICENSED DESIGN PROFESSIONAL. SUCH PROJECT DESIGN PLANS ARE FILED, AS PART OF THE CONSTRUCTION PERMIT APPLICATION, WITH THE ENFORCING AGENCY FOR THE STATE CONSTRUCTION CODE IN THE RELEVANT GOVERNMENTAL SUBDIVISION. THE ENFORCING AGENCY MAY BE A LOCAL BUILDING DEPARTMENT OR THE STATE DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS.

INDEX OF DRAWINGS

- 1. COVER SHEET
- 2. SURVEY PLAN
- 3. SITE PLAN
- 4. COORDINATE PLAN
- 5. UTILITY PLAN - NW
- 6. UTILITY PLAN - SW
- 7. UTILITY PLAN - SE
- 8. UTILITY PLAN - NE
- 9. EASEMENT PLAN - SANITARY SEWER & SIDEWALK
- 10. EASEMENT PLAN - WATER MAIN NW
- 11. EASEMENT PLAN - WATER MAIN SW & ACCESS
- 12. EASEMENT PLAN - DRAIN & POND MAINTENANCE
- 13. EASEMENT PLAN - STORM SEWER - NW
- 14. EASEMENT PLAN - STORM SEWER - SW
- 15. EASEMENT PLAN - STORM SEWER - SE
- 16. EASEMENT PLAN - STORM SEWER - NE

PROJECT TITLE

ROMULUS
TRADE CENTER
CONDOMINIUM

DATE:

APRIL 27, 2022

DRAWING TITLE

COVER SHEET

PEA
GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO.

2020-0241

P.M.

RLS

DN.

EH

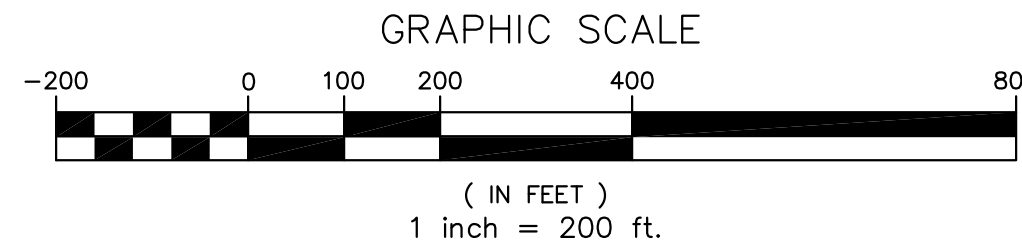
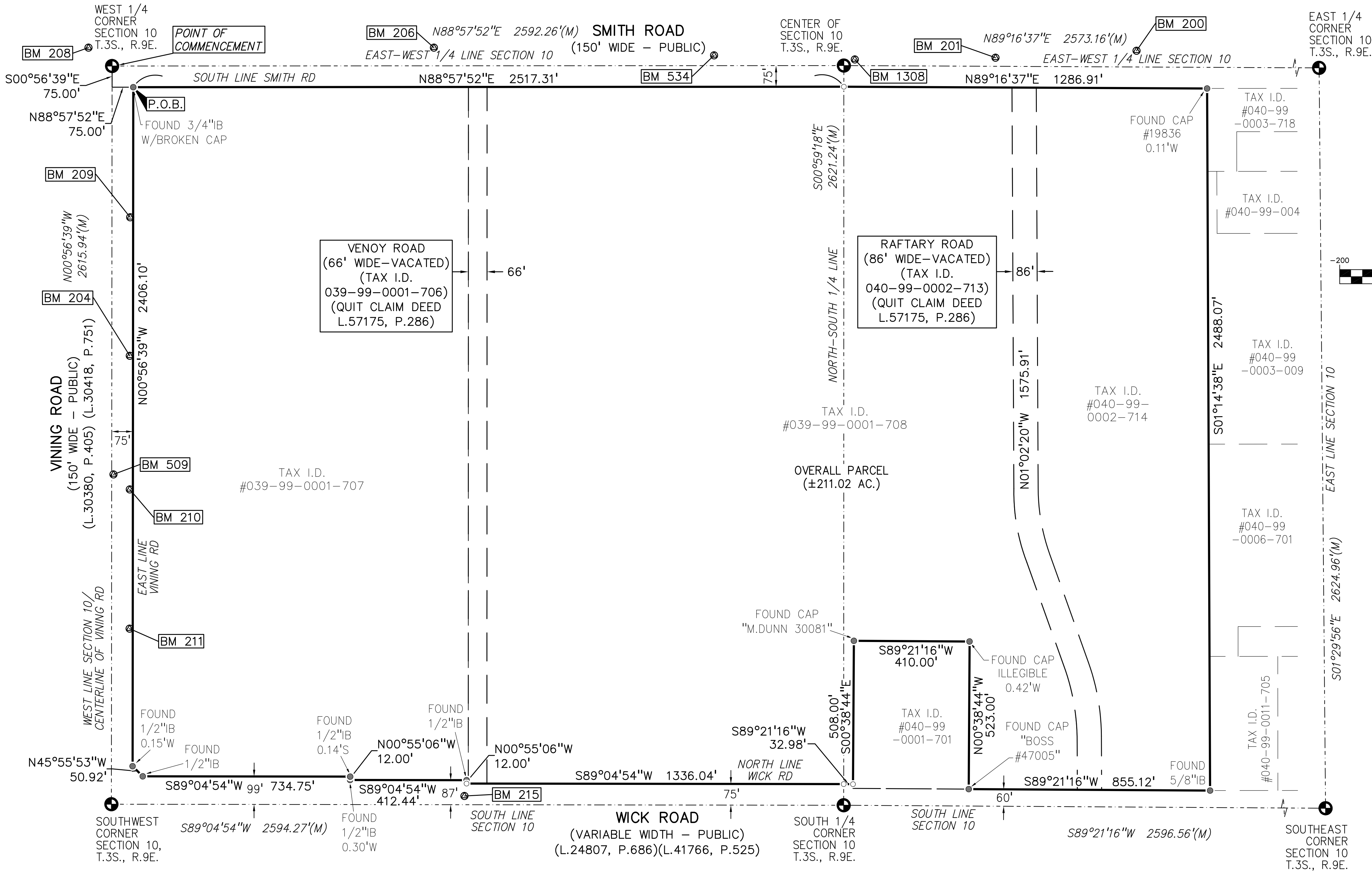
SUR.

KTR

DRAWING NUMBER:

1

PROPOSED DATED APRIL 27, 2022



- LEGEND:**
- SECTION CORNER FOUND
 - MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
 - IRON BAR (IB) FOUND - SEE LOCATION AS SHOWN FOR SPECIFIC SIZING
 - BENCHMARK
 - BOUNDARY LINE
 - SECTION LINE

FLOODPLAIN NOTE:

SITE IS WITHIN FLOODPLAIN ZONE 'X' PER FLOOD INSURANCE RATE MAP NUMBER 26163C0376F, DATED DECEMBER 3, 2013 AND LOMR 15-05-1538P DATED JANUARY 8, 2016.

BENCHMARKS

(PER BOSS ENGINEERING EXISTING CONDITIONS PLAN, PROJECT #02480, DATED MAY 26, 2004. FIELD MEASURED/VERIFIED BY PEA GROUP, DATED 2021. TO CONVERT TO NAVD88 DATUM, LOWER ELEVATIONS SHOWN ON THE BENCHMARK LIST BY ±1.11'.)

BM #200	ELEV. - 640.12	BENCHMARK
BM #201	ELEV. - 642.19	ARROW ON HYDRANT
BM #204	ELEV. - 649.91	ARROW ON HYDRANT
BM #206	ELEV. - 644.96	ARROW ON HYDRANT
BM #208	ELEV. - 650.42	ARROW ON HYDRANT
BM #209	ELEV. - 649.20	ARROW ON HYDRANT
BM #210	ELEV. - 646.03	ARROW ON HYDRANT
BM #211	ELEV. - 645.53	ARROW ON HYDRANT
BM #215	ELEV. - 643.18	TOP N. FLANGE ON HYDRANT
BM #509	ELEV. - 647.63	PK NAIL IN POWER POLE
BM #534	ELEV. - 642.05	ARROW ON HYDRANT
BM #1308	ELEV. - 643.87	ARROW ON HYDRANT

NOTES:

- BASIS OF BEARING: EAST-WEST 1/4 LINE OF SECTION 10, TOWN 3 SOUTH, RANGE 9 EAST PER VESTING DEED, AS RECORDED IN LIBER 55781, PAGE 1337, WAYNE COUNTY RECORDS.
- THE AREA OF THE OVERALL PARCEL IS 211.02 ACRES OF LAND.
- CURVILINEAR DISTANCES SHOWN ARE ALONG THE ARC.

SURVEYOR'S CERTIFICATE

I, KEVIN T. ROACH, PROFESSIONAL LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THE SUBDIVISION PLAN KNOWN AS ROMULUS TRADE CENTER CONDOMINIUM, WAYNE COUNTY CONDOMINIUM SUBDIVISION PLAN NO. _____, AS SHOWN ON THE ACCOMPANYING DRAWINGS, REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION: THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY DESCRIBED. THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE BEEN LOCATED IN THE GROUND AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978. THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978. THAT THE BEARINGS, AS SHOWN ARE NOTED ON THE SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978.

KEVIN T. ROACH (KROACH@PEAGROUP.COM)
PROFESSIONAL SURVEYOR NO. 4001047971
PEA Group

DATE

PROPOSED DATED APRIL 27, 2022

PROJECT TITLE

ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE

SURVEY PLAN

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

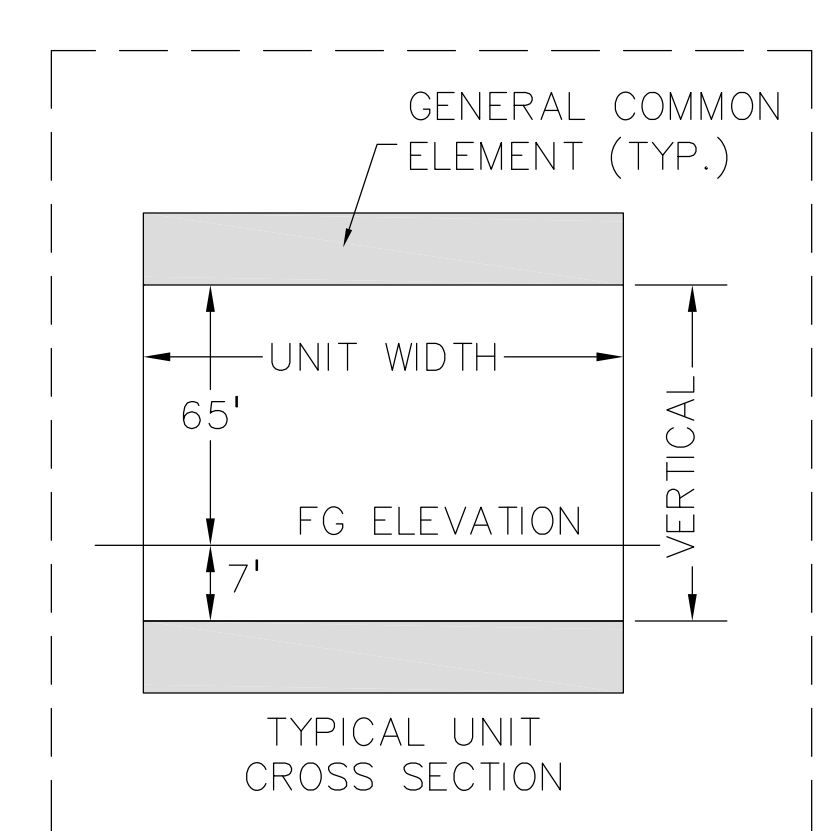
P.M. RLS

DN. EH

SUR. KTR

DRAWING NUMBER:

2



ROYAL DRIVE - PRIVATE AREA

ARC = 161.29'
RADIUS = 285.00'
DELTA = 32°25'34"
CHORD = 159.15'
CH. BRG. = N71°33'18"E

LIMITED COMMON ELEMENT (DETENTION)

637.57'

N89°04'54"E 658.37'

ARC = 123.45'
RADIUS = 80.00'
DELTA = 88°24'50"
CHORD = 111.56'
CH. BRG. = N43°17'22"E

UNIT 4
(±5.60AC.)

ROYAL DR.
(30'WIDE-PRIVATE)
G.C.E.(ROAD)
"MUST BE BUILT"

S89°04'54"W 30.00'

N00°55'06"W 356.10'

S00°55'06"E 356.10'

30.0'

74.40'

C3

ARC = 219.23'
RADIUS = 315.00'
DELTA = 39°52'32"
CHORD = 214.83'
CH. BRG. = S67°48'56"W

UNIT 5
(±5.66 AC.)

ARC = 77.10'
RADIUS = 50.00'
DELTA = 88°20'38"
CHORD = 69.68'
CH. BRG. = S43°15'16"W

101.57'

86.35'

C10

CA

273.55'

43.99'

16.34'

49.21'

C3

206.05'

S89°04'54"W 434.60'

392.60'

S89°04'54"W 300.15'

N00°55'06"W 12.00'

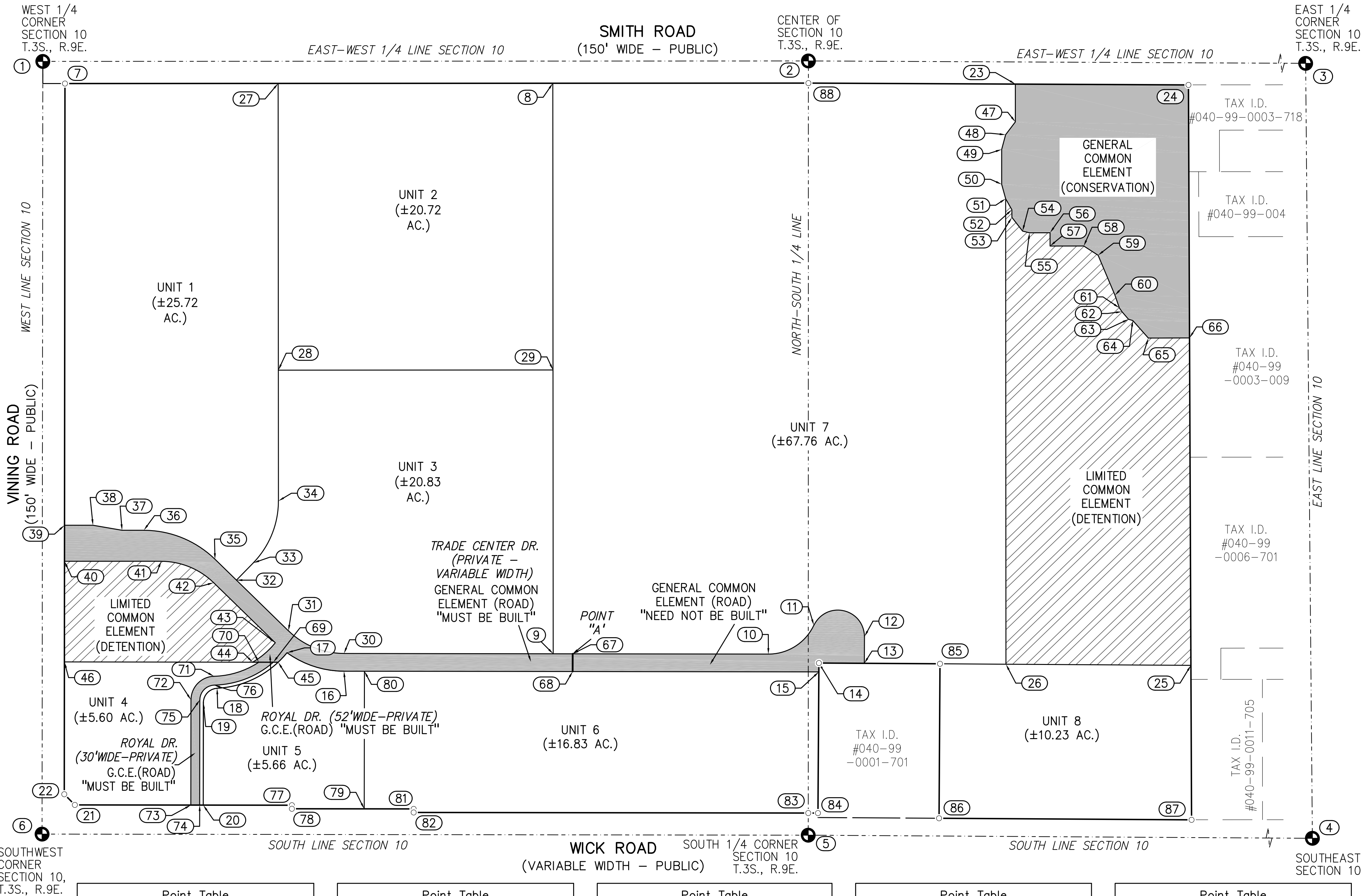
12.0'

Well

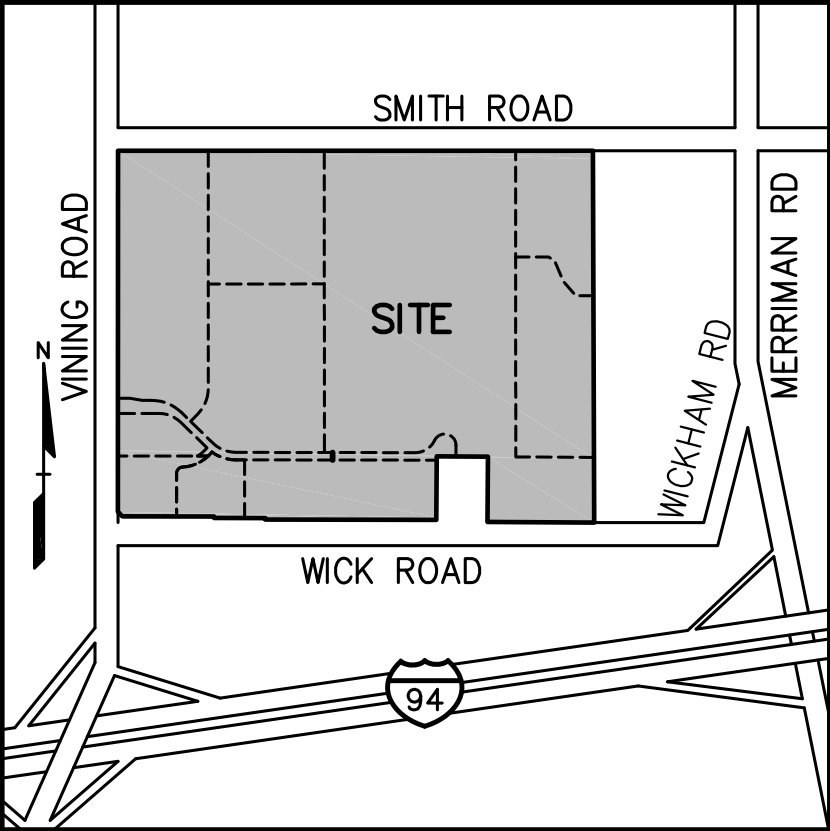
Shed

Easement

- NOTES:
1. BASIS OF BEARING: EAST-WEST 1/4 LINE OF SECTION 10, TOWN 3 SOUTH, RANGE 9 EAST PER VESTING DEED, AS RECORDED IN LIBER 55781, PAGE 1337, WAYNE COUNTY RECORDS.
 2. THE AREA OF THE OVERALL PARCEL IS 211.02 ACRES OF LAND.
 3. CURVILINEAR DISTANCES SHOWN ARE ALONG THE ARC.
 4. GENERAL COMMON ELEMENT (ROAD) SHOWN EAST OF POINT "A" NEED NOT BE BUILT.
 5. UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.



- LEGEND:**
- SECTION CORNER FOUND
 - MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
 - GENERAL COMMON ELEMENT (G.C.E.)
 - LIMITED COMMON ELEMENT
 - BOUNDARY LINE
 - SECTION LINE



- NOTES:**
- COORDINATES SHOWN ARE NOT ON TRUE MICHIGAN SOUTH STATE PLANE.
 - UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.



Point Table		
Point #	Northing	Easting
1	273189.224	13394122.420
2	273236.073	13396714.252
3	273268.544	13399287.203
4	270644.480	13399355.861
5	270615.219	13396759.466
6	270573.635	13394165.526
7	273115.571	13394198.614
8	273145.426	13395850.256
9	271214.198	13395885.274
10	271225.862	13396613.708
11	271326.057	13396766.003
12	271291.029	13396938.111
13	271200.262	13396939.134
14	271198.529	13396785.400
15	271168.609	13396785.737
16	271142.864	13395177.912

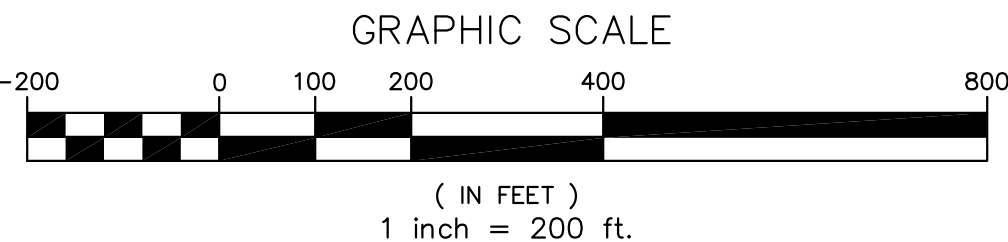
Point Table		
Point #	Northing	Easting
17	271202.086	13394984.034
18	271077.497	13394749.474
19	271027.822	13394703.838
20	270681.348	13394709.392
21	270674.382	13394274.851
22	270709.800	13394238.262
23	273169.907	13397416.157
24	273177.305	13398002.325
25	271212.725	13398044.979
26	271205.666	13397418.674
27	273128.618	13394920.406
28	272158.015	13394938.018
29	272174.888	13395867.854
30	271202.857	13395176.977
31	271276.252	13394987.624
32	271444.691	13394808.644

Point Table		
Point #	Northing	Easting
33	271504.124	13394864.574
34	271715.165	13394946.054
35	271514.349	13394734.627
36	271608.058	13394492.154
37	271606.769	13394418.421
38	271622.043	13394319.594
39	271620.359	13394223.256
40	271498.375	13394225.266
41	271504.095	13394552.354
42	271434.831	13394731.573
43	271235.083	13394943.821
44	271167.959	13394868.370
45	271169.343	13394954.705
46	271157.739	13394230.880
47	273041.968	13397418.476
48	272997.818	13397386.177

Point Table		
Point #	Northing	Easting
49	272947.945	13397373.675
50	272829.765	13397375.818
51	272781.316	13397390.103
52	272744.486	13397411.869
53	272718.367	13397412.342
54	272672.790	13397449.385
55	272667.396	13397473.060
56	272668.656	13397542.515
57	272623.747	13397543.329
58	272625.815	13397657.400
59	272595.441	13397706.425
60	272461.001	13397765.966
61	272418.619	13397781.314
62	272405.745	13397790.675
63	272380.561	13397813.024
64	272376.481	13397827.720

Point Table		
Point #	Northing	Easting
65	272318.061	13397881.421
66	272321.078	13398020.915
67	271215.254	13395951.191
68	271155.261	13395952.151
69	271169.081	13394938.368
70	271168.292	13394889.167
71	271117.938	13394738.193
72	271036.733	13394661.696
73	270680.675	13394667.398
74	270681.156	13394697.394
75	271037.213	13394691.693
76	271087.964	13394739.442
77	270686.159	13395009.506
78	270674.161	13395009.699
79	270678.088	13395254.667
80	271143.973	13395247.199

Point Table		
Point #	Northing	Easting
81	270680.772	13395422.086
82	270668.773	13395422.278
83	270690.190	13396758.143
84	270690.562	13396791.125
85	271203.150	13397195.374
86	270680.183	13397201.268
87	270689.820	13398056.331
88	273161.066	13396715.516



PROPOSED DATED APRIL 27, 2022

PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
COORDINATE PLAN

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

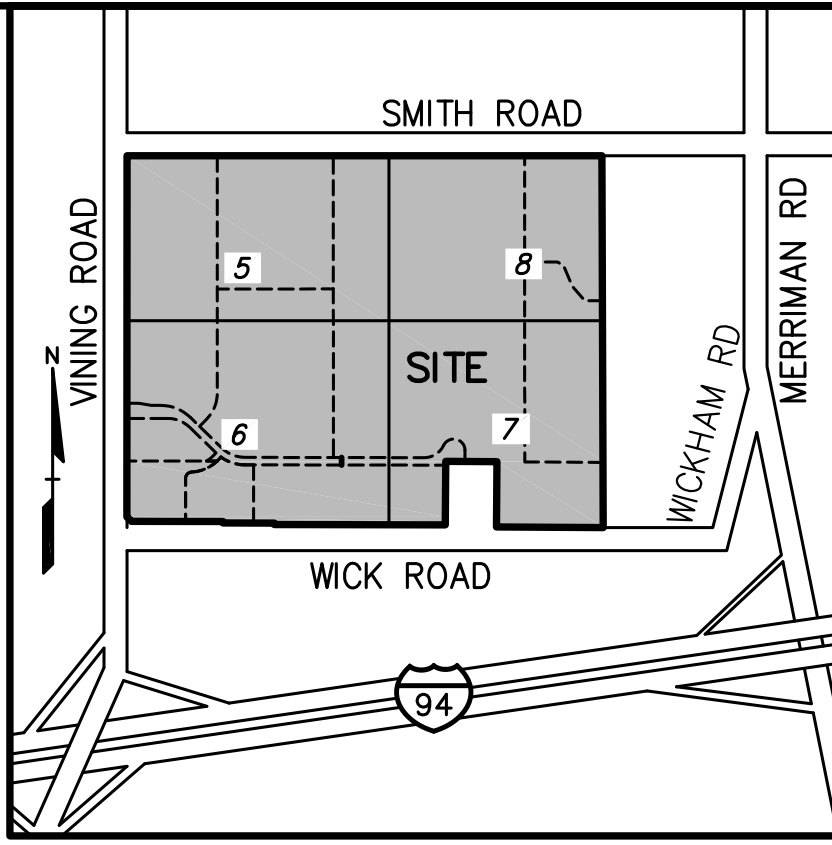
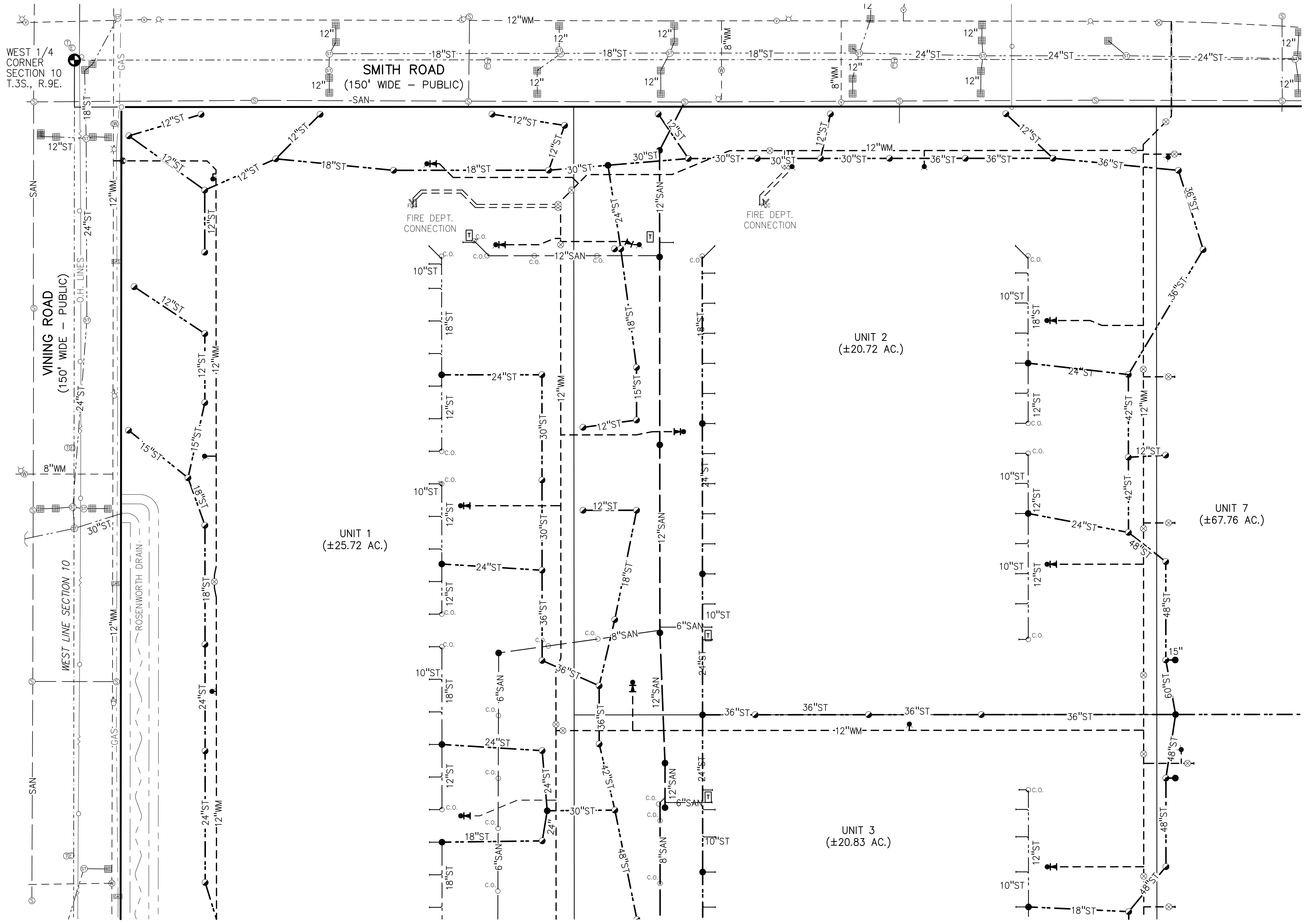
PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

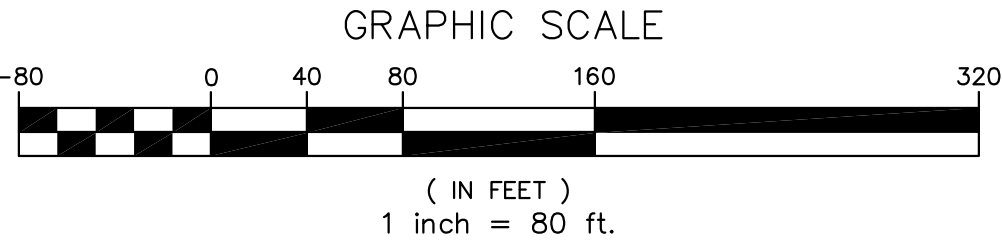
SUR. KTR

DRAWING NUMBER:



LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
- BOUNDARY LINE
- SECTION LINE



UTILITY NOTES:

- ALL UTILITY MAIN IMPROVEMENTS ON THIS SHEET MUST BE BUILT. ALL OTHER IMPROVEMENTS ON THIS SHEET, INCLUDING ANY UTILITY SERVICE LEADS, NEED NOT BE BUILT.
- ALL UNITS TO BE SERVICED WITH PRIVATE STORM SEWER OWNED AND MAINTAINED BY THE DEVELOPER AND WITH PUBLIC SANITARY SEWER AND WATER MAIN OWNED AND MAINTAINED BY THE CITY OF ROMULUS.
- ALL UNITS TO BE SERVICED WITH CABLE TV, GAS, PHONE AND ELECTRIC. THE PROVIDER OF THESE SERVICES HAS NOT BEEN DETERMINED AS OF THIS DATE.
- THE LOCATION OF ALL PROPOSED UTILITIES ARE APPROXIMATE.
- UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.



LEGEND

- | EXISTING | | PROPOSED |
|----------|--|----------|
| | WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE | |
| | SANITARY SEWER, CLEANOUT & MANHOLE | |
| | STORM SEWER, CLEANOUT & MANHOLE | |
| | TRANSFORMERS, END SECTION, CATCH BASINS | |
| | OVERHEAD WIRES, POLE, POWER LIGHT POLE, GUY WIRE | |
| | GAS LINE, GAS LINE MARKER, COMMUNICATION MANHOLE, ELECTRIC MANHOLE | |

PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
UTILITY PLAN NW

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

SUR. KTR

DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022

5

 SECTION CORNER FOUND
 MONUMENT SET - 1/2"
 DIAMETER STEEL ROD, 3'
 LONG, ENCASED IN A 4"
 CONCRETE CYLINDER
 BOUNDARY LINE
 SECTION LINE



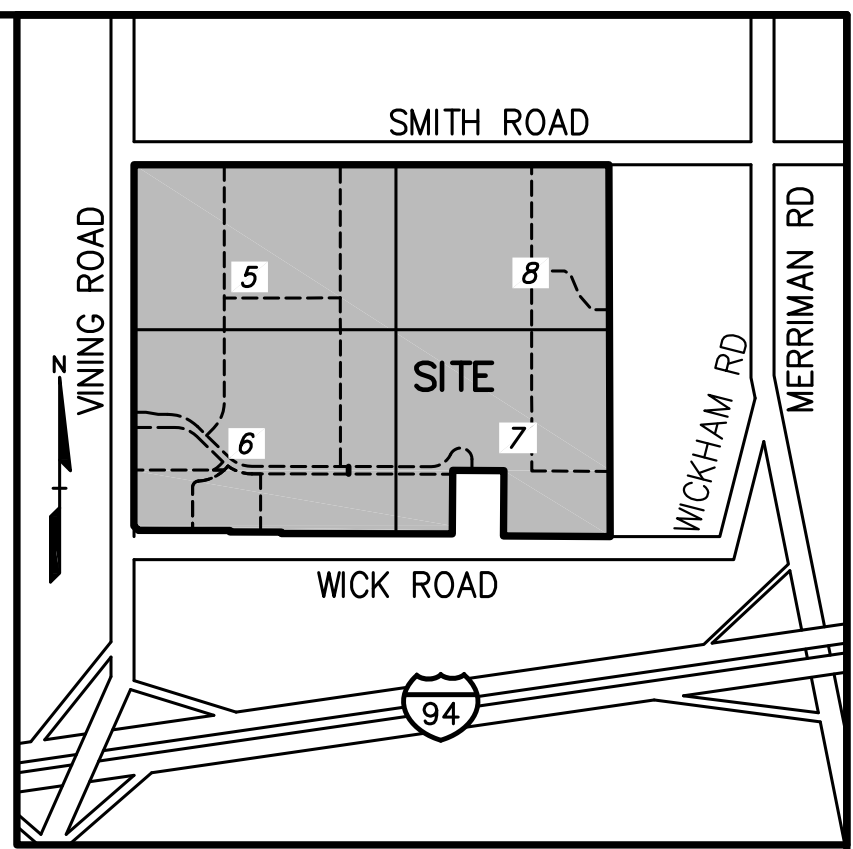
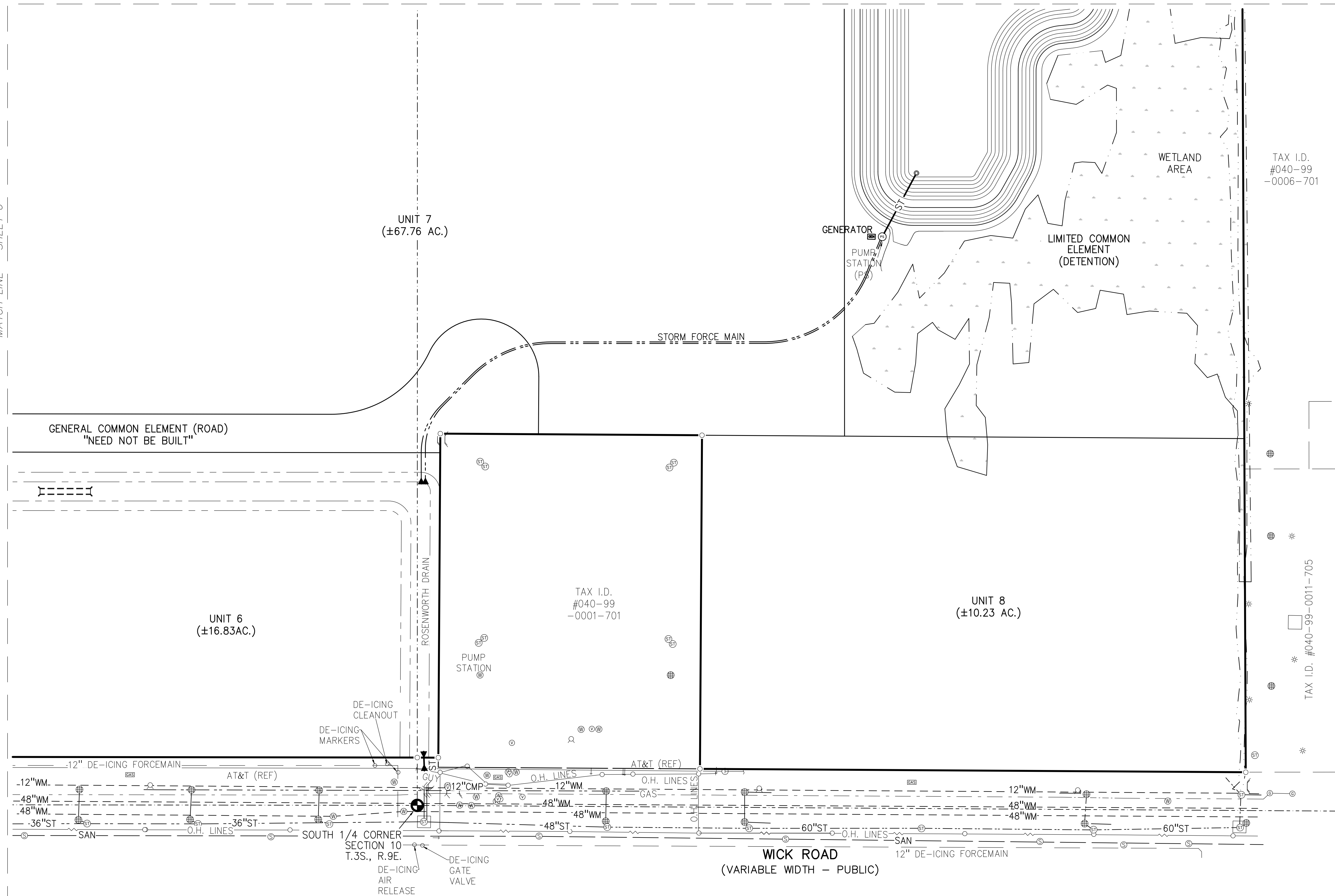
1. ALL UTILITY MAIN IMPROVEMENTS ON THIS SHEET MUST BE BUILT. ALL OTHER IMPROVEMENTS ON THIS SHEET, INCLUDING ANY UTILITY SERVICE LEADS, NEED NOT BE BUILT.
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4. THE LOCATION OF ALL PROPOSED UTILITIES ARE APPROXIMATE.
5. UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.

DRAWING TITLE
**UTILITY PLAN
SW**

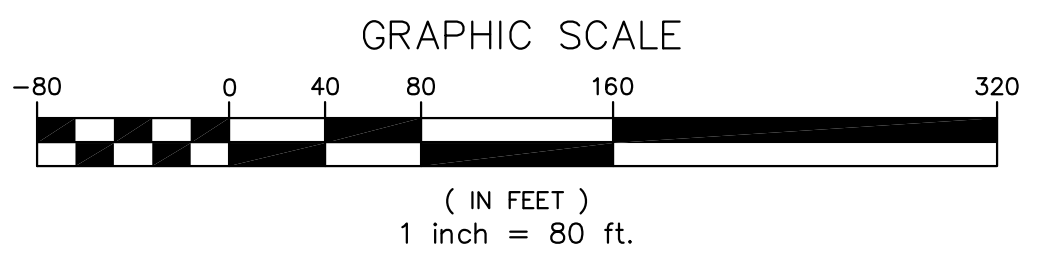
DRAWING NUMBER:

6

Page 59 of 117

**LEGEND:**

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
- WETLAND AREA
- BOUNDARY LINE
- SECTION LINE

**UTILITY NOTES:**

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- UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.

LEGEND

- | EXISTING | |
|----------|--|
| | WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE |
| | SANITARY SEWER, CLEANOUT & MANHOLE |
| | STORM SEWER, CLEANOUT & MANHOLE |
| | TRANSFORMERS, END SECTION, CATCH BASINS |
| | OVERHEAD WIRES, POLE, POWER LIGHT POLE, GUY WIRE |
| | GAS LINE, GAS LINE MARKER, COMMUNICATION MANHOLE, ELECTRIC MANHOLE |

- | PROPOSED | |
|----------|--|
| | |
| | |
| | |
| | |
| | |
| | |

PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
UTILITY PLAN SE

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

SUR. KTR

DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022

MATCH LINE - SHEET 5

NORTH-SOUTH 1/4 LINE

MATCH LINE - SHEET 7

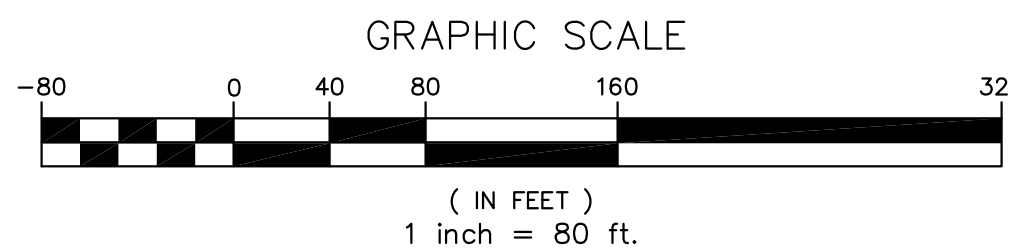
LEGEND

EXISTING	
	WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
	SANITARY SEWER, CLEANOUT & MANHOLE
	STORM SEWER, CLEANOUT & MANHOLE
	TRANSFORMERS, END SECTION, CATCH BASINS
	OVERHEAD WIRES, POLE, POWER LIGHT POLE, GUY WIRE
	GAS LINE, GAS LINE MARKER, COMMUNICATION MANHOLE, ELECTRIC MANHOLE

PROPOSED	
	C.O.
	C.O.
	T
	P
	PLP
	GW

LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
- WETLAND AREA
- BOUNDARY LINE
- SECTION LINE



UTILITY NOTES:

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- UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.



PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
UTILITY PLAN NE

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

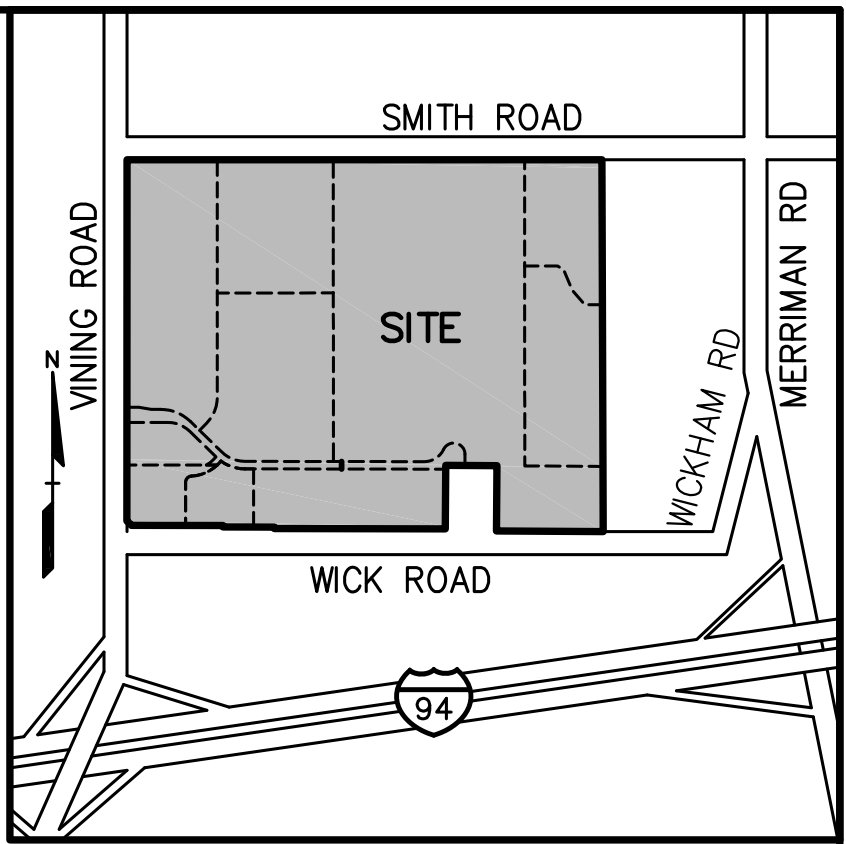
SUR. KTR

DRAWING NUMBER:

8

PROPOSED DATED APRIL 27, 2022

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WEST 1/4
CORNER
SECTION 10
T.3S., R.9E.

VINING ROAD
(150' WIDE - PUBLIC)

WEST LINE SECTION 10

SMITH ROAD
(150' WIDE - PUBLIC)

UNIT 2
(±20.72 AC.)

UNIT 7
(±67.76 AC.)

UNIT 1
(±25.72 AC.)

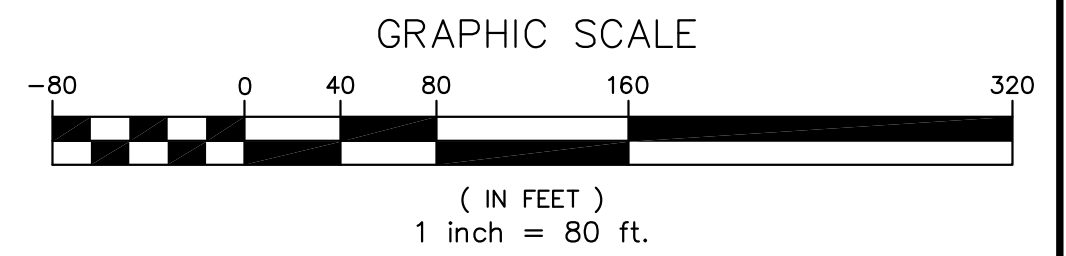
UNIT 3
(±20.83 AC.)

MATCH LINE - SHEET 11

LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER

BOUNDARY LINE
SECTION LINE



NOTES:

- UNITS 1-4 MUST BE BUILT.
UNITS 5-8 NEED NOT BE BUILT.



PROJECT TITLE
**ROMULUS TRADE
CENTER
CONDOMINIUM**

DATE:
APRIL 27, 2022

DRAWING TITLE
**EASEMENT PLAN
WATERMAIN NW**

**PEA
GROUP**

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

SUR. KTR

DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022

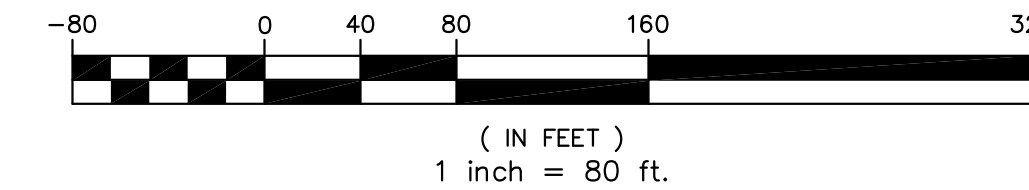
10

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SECTION CORNER FOUND
MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER

 BOUNDARY LINE
 SECTION LINE

GRAPHIC SCALE



NOTES:

1. UNITS 1-4 MUST BE BUILT.
UNITS 5-8 NEED NOT BE BUILT.

**ROMULUS TRADE
CENTER
CONDOMINIUM**

DATE:
APRIL 27, 2022

DRAWING TITLE
**EASEMENT PLAN
WATERMAIN SW
& ACCESS**

PEA
GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M.
RLS

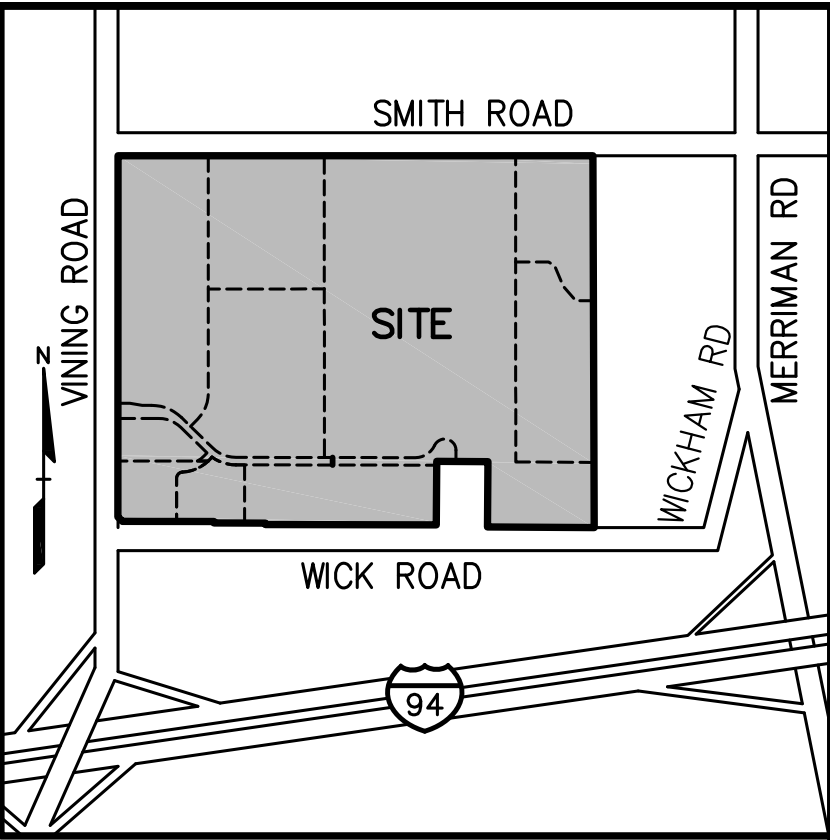
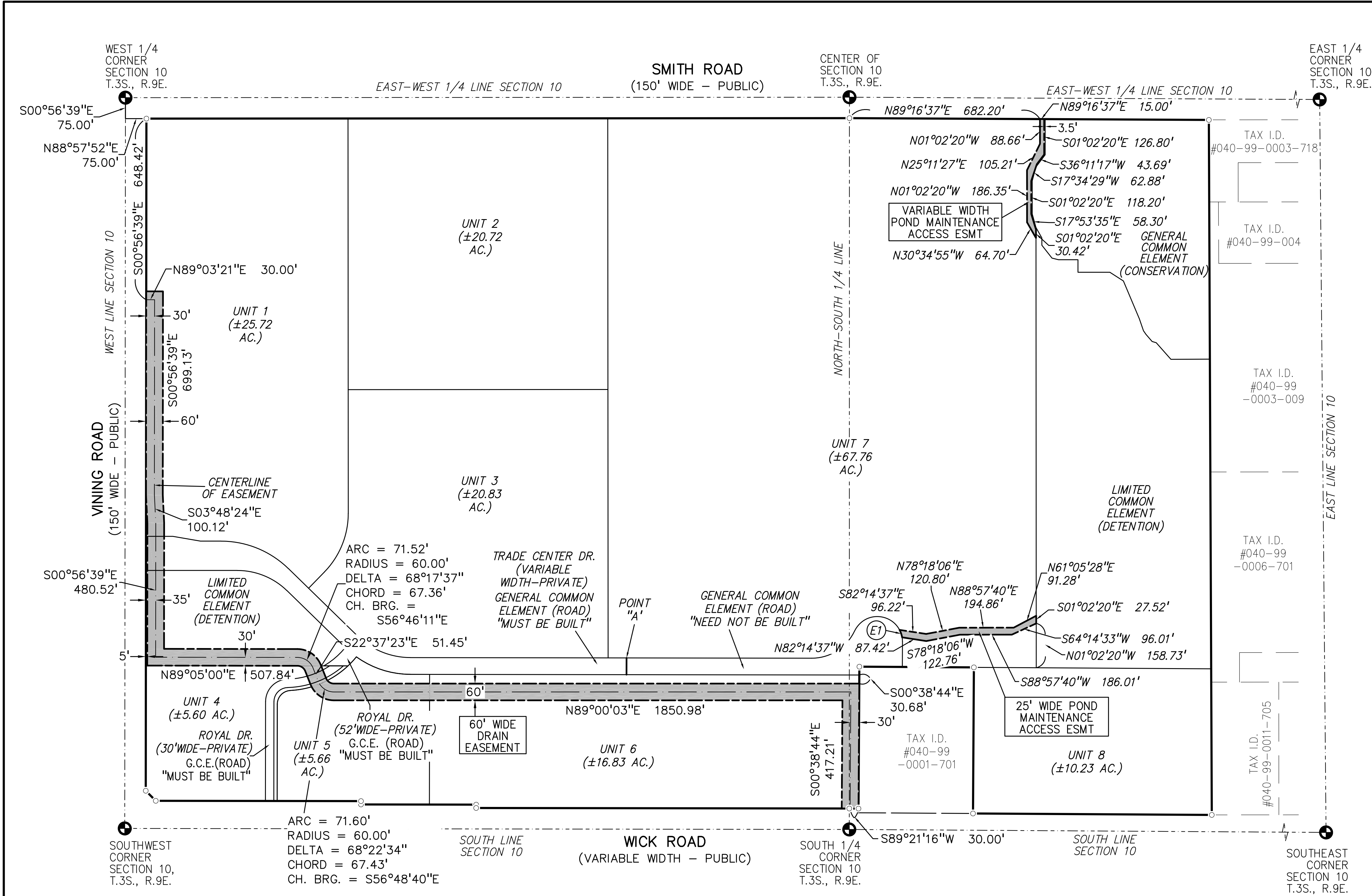
DN.	EH
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SUR.	KTR
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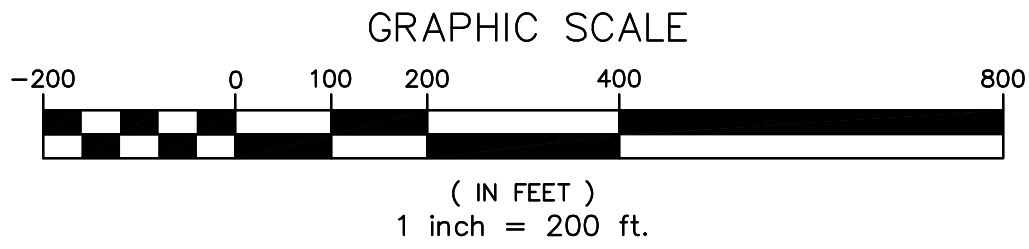
PROPOSED DATED APRIL 27, 2022

11



LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
- BOUNDARY LINE
- SECTION LINE



NOTES:

1. UNITS 1-4 MUST BE BUILT. UNITS 5-8 NEED NOT BE BUILT.

Curve Table					
Curve #	Length	Radius	Delta	CH. BRG.	Chord
E1	28.33'	90.00'	18°02'14"	N19°51'57"W	28.22'

PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
EASEMENT PLAN - DRAIN & POND MAINTENANCE

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

SUR. KTR

DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022

WEST 1/4
CORNER
SECTION 10
T.3S., R.9E.

VINING ROAD
(150' WIDE - PUBLIC)

WEST LINE SECTION 10

SMITH ROAD
(150' WIDE - PUBLIC)

S01°02'08"E
102.09'

S88°57'52"W
49.96'

20'

20' WIDE STORM
SEWER ESMT

N88°57'38"E 582.00'

CENTERLINE
20' WIDE STORM
SEWER ESMT

S85°28'36"E
201.17'

S18°18'44"E
132.48'

S29°54'52"W
232.44'

UNIT 2
(±20.72 AC.)

UNIT 7
(±67.76 AC.)

UNIT 1
(±25.72 AC.)

109.60'
N67°02'52"W

N01°02'22"W
93.00'

N88°57'38"E
195.00'

N14°22'15"W
108.42'

S88°26'57"W
118.00'

N12°22'26"W
178.09'

CENTERLINE
20' WIDE STORM
SEWER ESMT

S88°57'38"W 764.99'

20' WIDE STORM
SEWER ESMT

20'

UNIT 3
(±20.83 AC.)

S52°55'42"E
75.61'

252.00'
S01°02'22"E

S01°02'20"E
157.00'

S11°08'26"E
88.37'

N88°57'37"E
400.00'

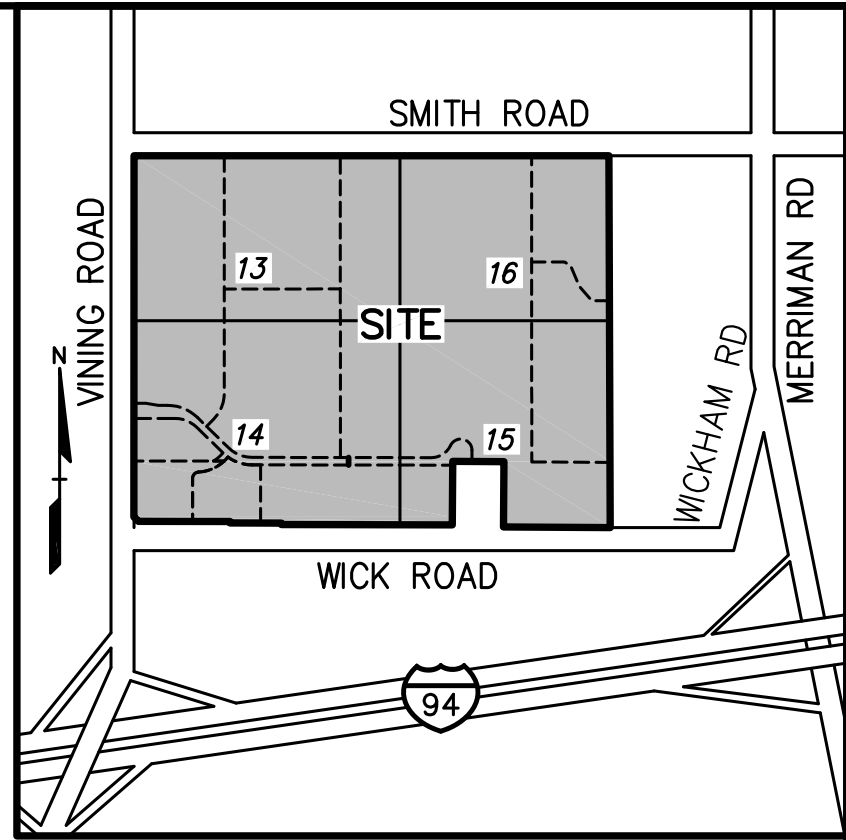
N07°38'37"E
102.68'

N01°02'20"W
141.41'

93.16'
N38°38'32"E

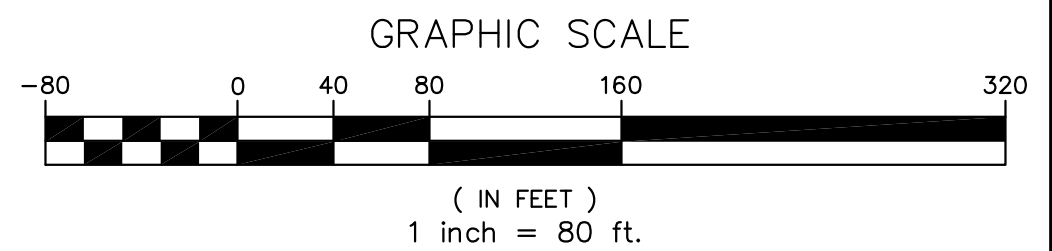
MATCH LINE - SHEET 16

MATCH LINE - SHEET 14



LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
- BOUNDARY LINE
- SECTION LINE



NOTES:

- UNITS 1-4 MUST BE BUILT.
UNITS 5-8 NEED NOT BE BUILT.

N

PROJECT TITLE
**ROMULUS TRADE
CENTER
CONDOMINIUM**

DATE:
APRIL 27, 2022

DRAWING TITLE
**EASEMENT PLAN
STORM SEWER
NW**

**PEA
GROUP**

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M. RLS

DN. EH

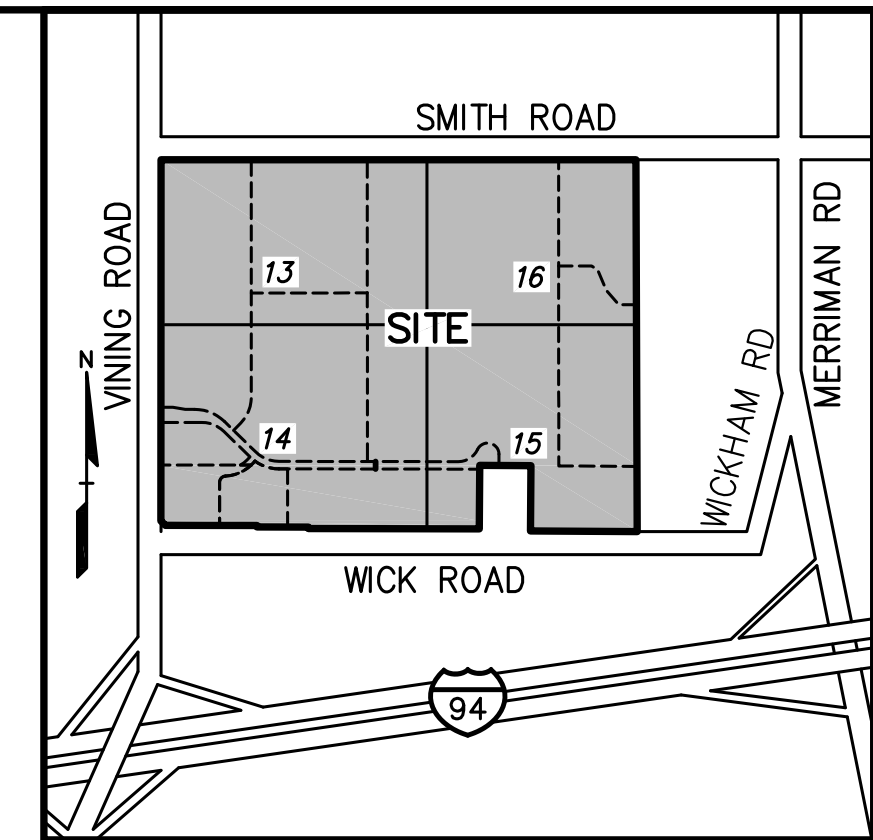
SUR. KTR

DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022

13

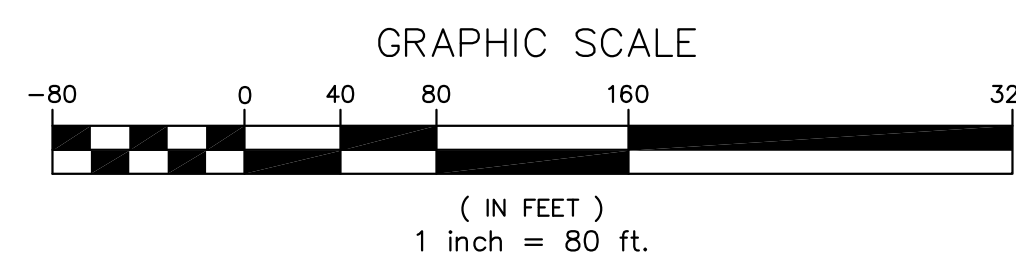
S:\PROJECTS\2020\2020-0241_NPD_ROMULUS\SURVEY-DEPT\202041COND\DWG\202041-13-16-ESMT-STORM.dwg



LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET - 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER

BOUNDARY LINE
SECTION LINE



NOTES:

- UNITS 1-4 MUST BE BUILT.
UNITS 5-8 NEED NOT BE BUILT.

MATCH LINE - SHEET 15



PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
**EASEMENT PLAN
STORM SEWER
SW**

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

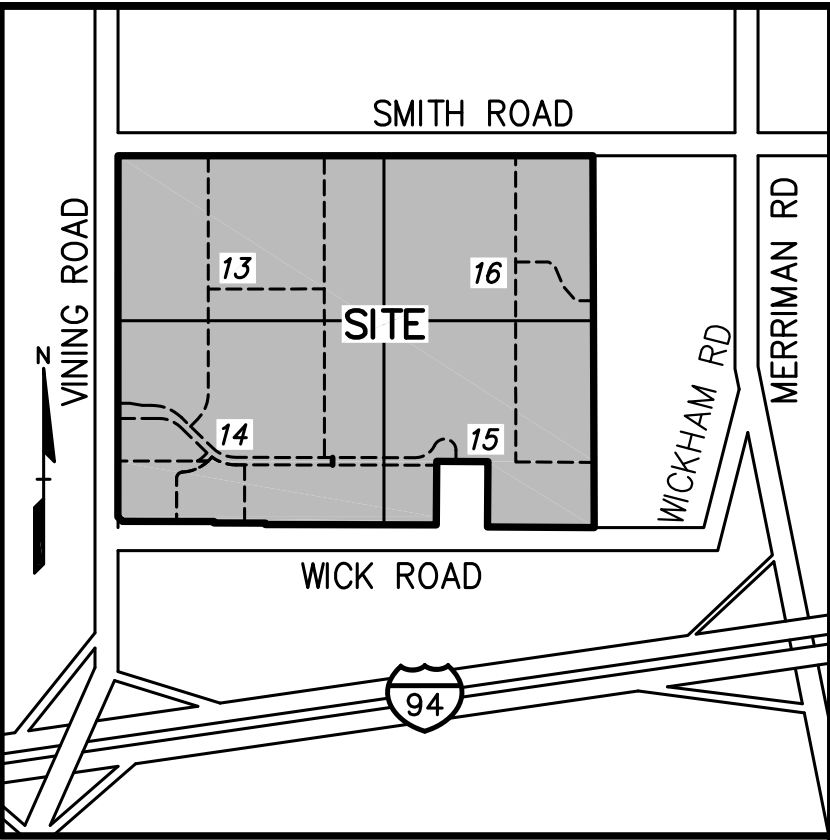
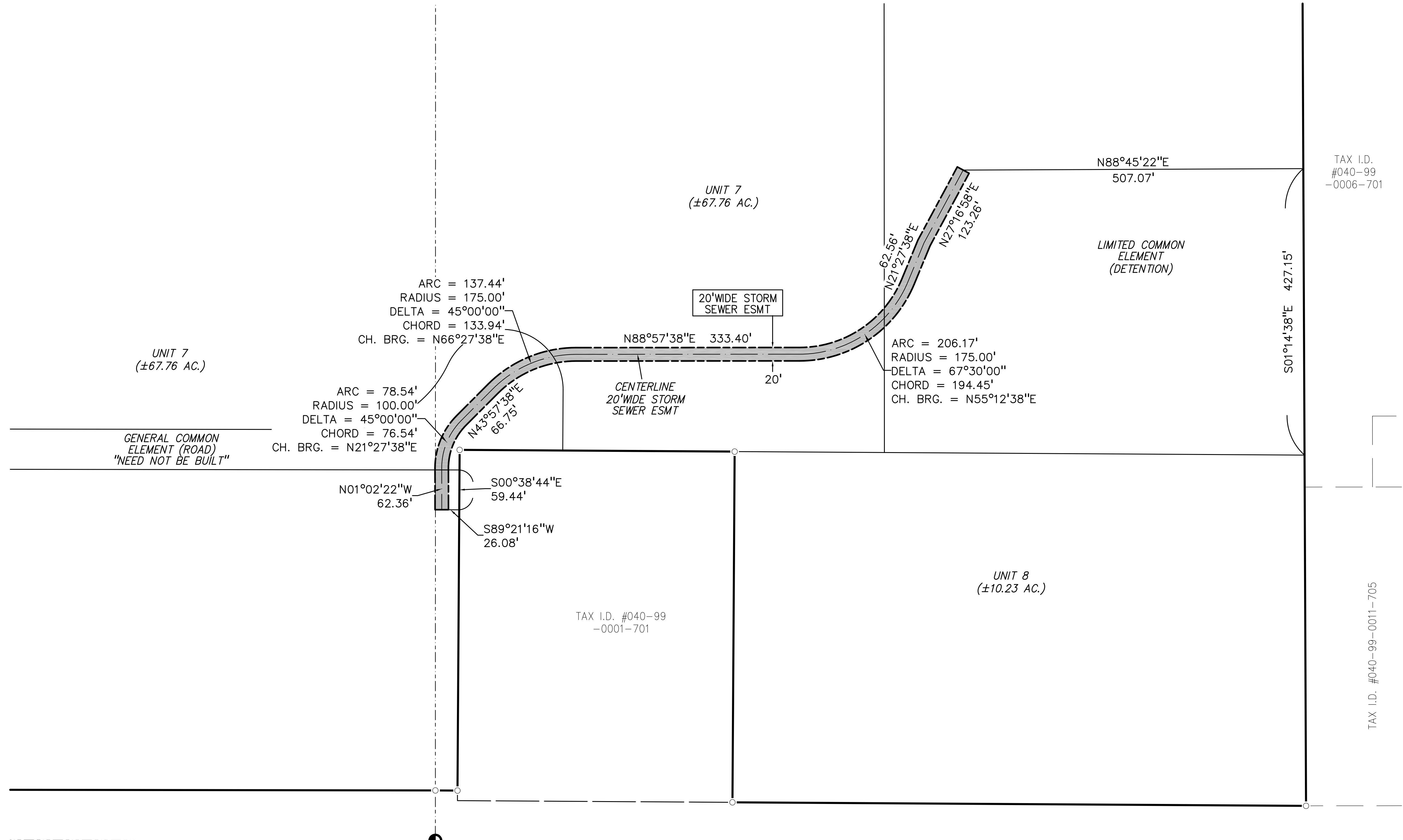
P.M. RLS

DN. EH

SUR. KTR

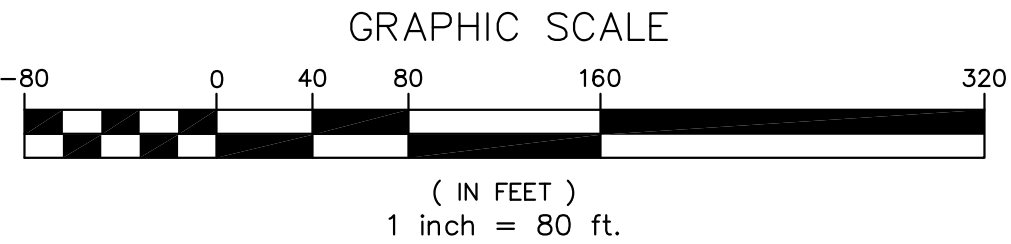
DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022



LEGEND:

- SECTION CORNER FOUND
- MONUMENT SET — 1/2" DIAMETER STEEL ROD, 36" LONG, ENCASED IN A 4" CONCRETE CYLINDER
- BOUNDARY LINE
- SECTION LINE



NOTES:

- UNITS 1-4 MUST BE BUILT.
UNITS 5-8 NEED NOT BE BUILT.



PROJECT TITLE
ROMULUS TRADE CENTER CONDOMINIUM

DATE:
APRIL 27, 2022

DRAWING TITLE
**EASEMENT PLAN
STORM SEWER
SE**

PEA GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

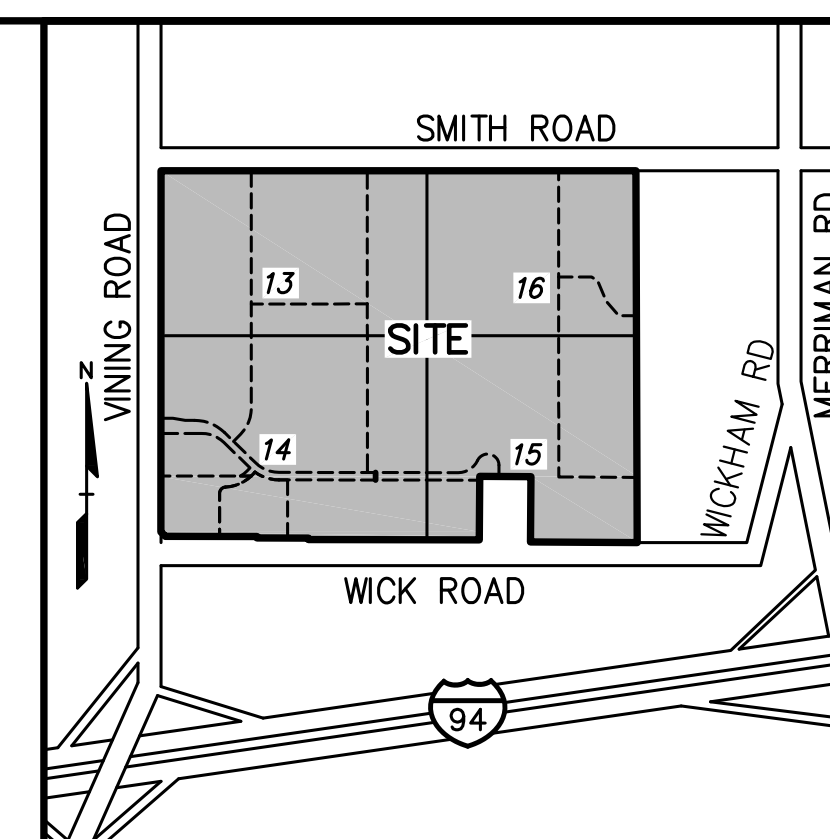
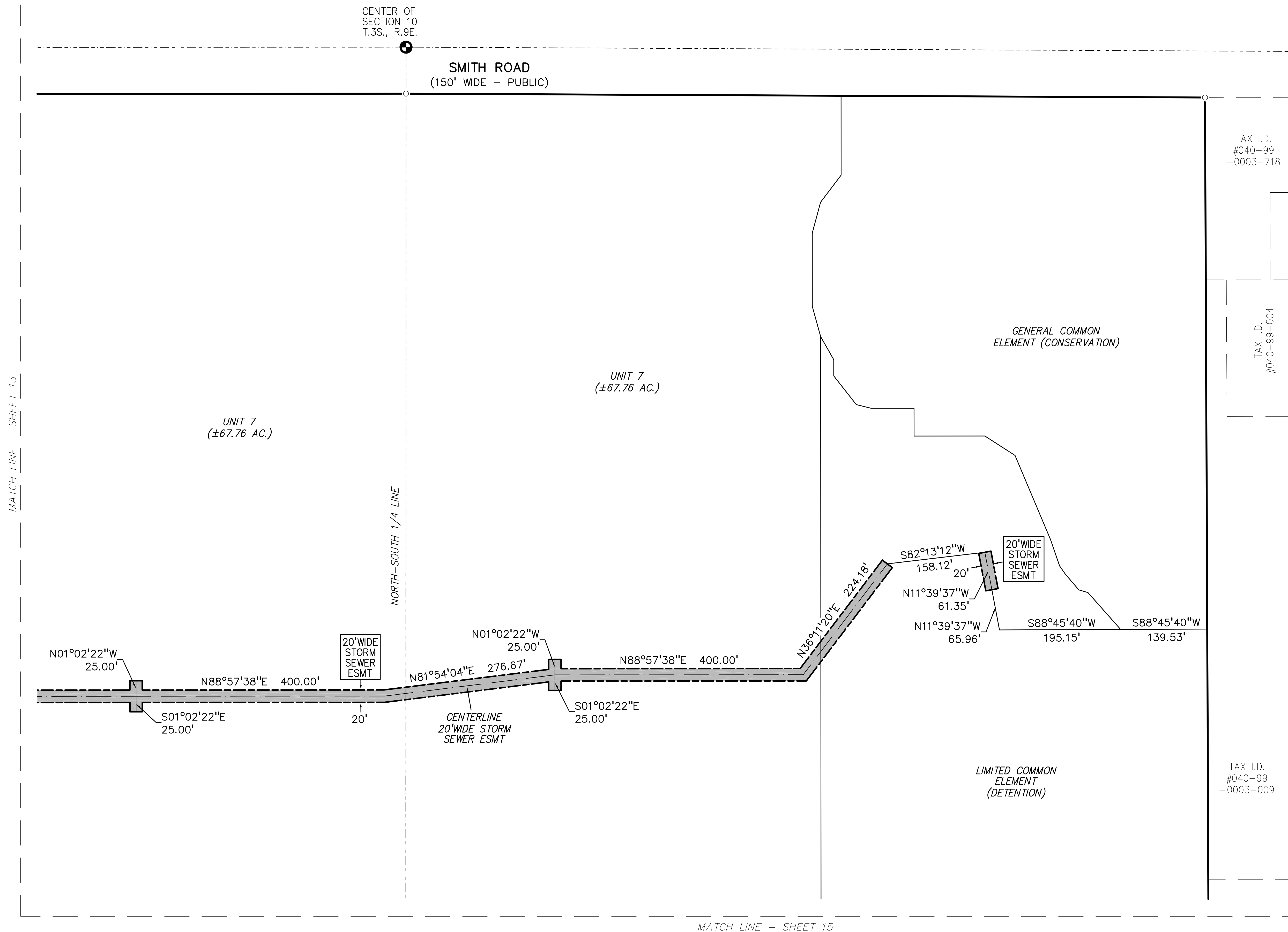
P.M. RLS

DN. EH

SUR. KTR

DRAWING NUMBER:

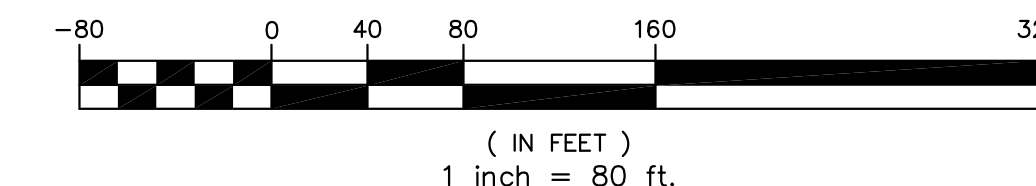
PROPOSED DATED APRIL 27, 2022



LEGEND:

-  SECTION CORNER FOUND
 MONUMENT SET - 1/2"
 DIAMETER STEEL ROD, 36"
 LONG, ENCASED IN A 4"
 CONCRETE CYLINDER
 BOUNDARY LINE
 SECTION LINE

GRAPHIC SCALE



NOTES:

1. UNITS 1-4 MUST BE BUILT.
UNITS 5-8 NEED NOT BE BUILT.

TAX I.D.
#040-99
-0003-718

TAX I.D.
#040-99-004

TAX I.D.
#040-99
-0003-009



PROJECT TITLE

**ROMULUS TRADE
CENTER
CONDOMINIUM**

DATE:
APRIL 27, 2022

DRAWING TITLE
**EASEMENT PLAN
STORM SEWER
NE**

PEA
GROUP

t: 844.813.2949
1849 Pond Run
Auburn Hills, MI 48326
www.peagroup.com

PEA JOB NO. 2020-0241

P.M.
RLS

DN.	EH
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SUR.	KTR
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DRAWING NUMBER:

PROPOSED DATED APRIL 27, 2022

16



City of Romulus

Chairperson's Report, John Barden, Mayor Pro-Tem

Council Meeting Held:

June 6, 2022

Item No. A.

General Description: Approval of the Chairperson's Report

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



City of Romulus

Mayor's Report – Robert A. McCraight, Mayor

Council Meeting Held: **June 6, 2022**

Item No. A.

General Description: Michigan Department of Agriculture and Rural Development - 2022 Animal Welfare Grant Award

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED

City of Romulus

INTEROFFICE MEMORANDUM

TO: The Honorable Romulus City Council
FROM: Mayor Robert A. McCraight
SUBJECT: Michigan Department of Agriculture and Rural Development
2022 Animal Welfare Grant Award
DATE: June 1, 2022

I concur with the recommendation of Derran Shelby, Deputy Police Chief, and City Attorney Stephen Hitchcock and respectfully request City Council adopt a resolution authorizing the Mayor and Clerk to enter into the attached Inter-Governmental Agreement with the Michigan Department of Agriculture and Rural Development for the 2022 Animal Welfare Fund Grant partial awarded funds in the amount of \$6,468.00. Funds are intended to be used for spaying and neutering.

Motion by _____, supported by _____, to concur with the administration and authorize the Mayor and Clerk to enter into the attached Inter-Governmental Agreement with the Michigan Department of Agriculture and Rural Development for the 2022 Animal Welfare Fund Grant partial awarded funds in the amount of \$6,468.00. Funds are intended to be used for spaying and neutering.

Memo

To: Mayor Robert McCraight
From: Derran Shelby, Deputy Chief
Date: May 24, 2022
Re: Michigan Department of Agriculture and Rural
Development 2022 Animal Welfare Grant Award

I am requesting and seeking council approval for the City of Romulus to enter into an Intergovernmental Agreement with the Michigan Department of Agriculture and Rural development.

The Romulus Animal Shelter has been awarded partial funding for the 2022 Animal Welfare Fund Grant in the amount of \$6,468.00. The funds are intended to be used for spaying and neutering.

City Attorney Steve Hitchcock has reviewed the contract and approved its language.

The funds will be distributed in the form of reimbursements after receipts and other forms of proper documentation have been submitted and received by the State of Michigan.

CC Robert Pfannes, Chief
Julie Wojtylko, Chief of Staff



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF AGRICULTURE
AND RURAL DEVELOPMENT

GARY MCDOWELL
DIRECTOR

May 18, 2022

Derran Shelby
City of Romulus Animal Shelter
11111 Wayne
Romulus, MI 48174

Sent Via Email: dshelby@romulusgov.com

Dear Mr. Shelby

Thank you for applying for a 2022 Animal Welfare Fund Grant. The grant program is administered by the Michigan Department of Agriculture and Rural Development (MDARD). We received over 28 applications requesting more than \$274,000.

Your grant application has been reviewed, and we are pleased to inform you that you have been selected to receive a grant in the amount of \$6,468 for your spay and neuter proposal.

Despite this year's processing delay, we will be reimbursing your eligible expenses for the February 1 to September 1, 2022 grant period. Funds will be distributed to grantees in the form of reimbursements after receipts and other forms of proper documentation have been submitted.

This year we are moving to a web-based process that will provide for all parties to electronically sign the 2022 grant agreement. Instructions on how to do that will be sent to you separately.

If you have any questions, please contact Kate Turner at 517-284-5684 or via email at animalshelters@michigan.gov.

Respectfully,

A handwritten signature in black ink, appearing to read "Nora E. Wineland".

Nora E. Wineland, DVM, MS, DACVPM
State Veterinarian and Division Director
Animal Industry Division

NEW/kt



MICHIGAN DEPARTMENT OF AGRICULTURE AND RURAL DEVELOPMENT
ANIMAL INDUSTRY DIVISION

Mailing address:
Hand-delivery/overnight address:
Email address for submission (preferred):
Application is available online at:
For questions, please contact:

PO Box 30017, Lansing, MI 48909
525 W. Allegan, 6th Floor N, Lansing, MI 48933
mulvaneyd@michigan.gov
www.michigan.gov/animalshelters
517-284-5684; Debbie Mulvaney, Grant Administrator

Animal Welfare Grant Application

In accordance with Act 132, PA 2007 as amended. This application must be *received* by October 15th of the year prior to the Grant cycle.

Full Legal Name of Applicant:		Applicant Organization Type?	
		Government/Municipality	Nonprofit/Individual Corporate/LLC LARA ID No. _____ If assumed name, attached?
Full Legal Name of the Shelter (IF different from the applicant above):		Shelter Information	
		Control Shelter?	Protection Shelter? MDARD Reg. #
Federal EIN number:	Address on file for the EIN (select only one):		Amount requested:
	Same as Physical address below? -OR- Same as Mailing address below?		\$ _____ (\$10,000 maximum)
Physical Address:	City:	State:	Zip Code:
		MI	
Mailing Address if different:	City:	State:	Zip Code:
Grantee Contact:	Phone:	Grantee Email:	Preferred payment cycle:
			Quarterly Mid-year End of grant cycle

The Michigan Department of Agriculture and Rural Development (MDARD), Animal Industry Division (AID), is offering grants pursuant to Public Act 132 of 2007, the Animal Welfare Fund Act. The purpose of the animal welfare fund is as stated in MCL 287.993 is:

Sec. 3. (1) The animal welfare fund is created in the department to provide funds to promote sterilization and adoption of dogs and cats, to improve knowledge of the proper care of animals pursuant to state animal anticruelty laws by educating the public and training personnel authorized by law to enforce state animal anticruelty laws, to support and enhance programs that provide for the care and protection of animals pursuant to state anticruelty laws, and to allow the purchase of equipment and supplies for programs that receive grants under this act.

General Eligibility Requirements and Grant Program Priorities

- Funds will only be awarded to animal shelters currently registered with MDARD pursuant to Public Act 287 of 1969, as amended.
- No more than \$10,000 will be awarded to an individual applicant. If more applications are received than can be supported by available funding, awards will go to the best proposals.
- An Animal Welfare Fund Grant received pursuant to Public Act 132 of 2007, shall not be used to replace funds otherwise designated by a grantee to support similar programs or projects if existing funds for those programs or projects are included in the grantee's budget before receiving a grant under this act.
- Funds may not be used to sterilize privately-owned dogs/puppies or cats/kittens; nor be used to sterilize shelter dogs/puppies or shelter cats/kittens imported into Michigan. Funds may not be used for ancillary procedures such as vaccination, micro-chipping, tests/treatments for conditions/diseases. Funds may not be used for attendees' travel, lodging, or meal expenses at MDARD-approved conferences, workshops, etc. (*only registration fees*). MDARD staff are not eligible for any grant funds.
- Applicants must have submitted their Annual Shelter Activity Report (AI-034) for the previous year's statistics, and the applicant shall have otherwise complied with section 9a of Public Act 287 of 1969, as amended.
- An organization that has previously received an Animal Welfare Fund Grant, that does not comply with the provisions of Public Act 132 of 2007 or the terms of the Grant as determined by MDARD is not eligible for any future grants pursuant to section 7(1) of Public Act 132 of 2007.
- The Director of the Michigan Department of Agriculture and Rural Development will have final authority to approve or not approve grant proposals and awards, based upon selection criteria, program priorities, and the merits of the individual applications.

Grant Funds Available for Registered Shelters

We are applying for grant funds for the project categories listed below. You must also fill out the *Project Form* for each project selected. You may select more than one, total projects must not exceed \$10,000.

A. SPAY/NEUTER SURGICAL PROGRAMS

to increase the number of dogs and cats that are sterilized and adopted, to include the purchase of equipment and supplies for this program (i.e. payments to qualified veterinarian pursuant to section 2(d) of Public Act 132 of 2007, for reasonable and customary professional services related to sterilization procedures, payments for transportation of shelter animals to sterilization site, surgical suite equipment or supplies for alteration of shelter animals at the shelter and/or at veterinary practices).

B. PUBLIC EDUCATION PROGRAMS – PROMOTION OF STERILIZATION AND ADOPTION

to provide information to the public about the value of sterilization and adoption of dogs and cats, to include the purchase of equipment and supplies for this program.

C. PUBLIC EDUCATION PROGRAMS – PROPER CARE OF ANIMALS

to improve knowledge of the proper care of animals* pursuant to state animal anticruelty laws by educating the public, to include the purchase of equipment and supplies for this program.

D. TRAINING FOR AUTHORIZED PERSONNEL

to improve knowledge of the proper care of animals pursuant to state animal anticruelty laws by training personnel authorized by law to enforce state anticruelty laws (i.e. registration fees for attendance at MDARD-approved conferences, workshops, etc.) to include the purchase of equipment and supplies for this program (i.e. MDARD-approved speaker fees for conferences, workshops, etc.)

E. CARE AND PROTECTION – ANTICRUELTY PROGRAMS

to support and enhance programs that provide for the care and protection of animals pursuant to state animal anticruelty laws which provide standards for the adequate care of animals, to include the purchase of equipment and supplies for this program.

F. CARE AND PROTECTION –SHELTER-HOUSED ANIMALS (CRUELTY)

to provide support for the costs of the care, housing, and veterinary medical care as applicable for shelter animals that are housed for violations of Chapter IX, Public Act 328 of 1931; MCL 750.49-MCL 750.70, where sentencing does not provide for all or part of the applicable costs.**

*Public Act 328 of 1931; MCL 750.49 – "Animals" mean vertebrate other than human.

**Public Act 328 of 1931; MCL 750.50(8) – Cost of care as part of sentencing".

Name of the person who filled out this grant application:	Title:	Phone number:
		extn: _____
By signing below, I hereby verify that no one associated with this grant application or proposed project(s) has a conflict of interest with grant process or grant funding. By signing below, I acknowledge that if this organization receives a grant under this act it shall provide a written report of grant-funded activities to MDARD as prescribed by MDARD. I acknowledge that a grant received under this act that does not comply with the provisions of this act or the terms of the grant shall be required to repay to the department the amount of the grant, or a portion of the grant, as determined by the department.		
Signature of the person who would be responsible for implementing and monitoring this grant:		Date:
Printed name of the person above:	Title:	Phone number:
		extn: _____

Application must be received (*not postmarked*) by October 15th.

Grant Cycle is February 1st– September 1st

**SPAY/NEUTER SURGICAL
PROJECT FORM****Applicant:**

To increase the number of dogs and cats that are sterilized and adopted, to include the purchase of equipment and supplies for this program (i.e. payments to qualified veterinarian pursuant to section 2(d) of Public Act 132 of 2007, for reasonable and customary professional services related to sterilization procedures, payments for transportation of shelter animals to sterilization site, surgical suite equipment or supplies for alteration of shelter animals at the shelter and/or veterinary practices.)

Project Title:**Project Summary:**

Describe the project in everyday language without the use of scientific or technical jargon. State the problem, challenges or issue your project is addressing. Briefly explain how this project will address or solve the problem or challenge. Answer the following as part of the summary.

1) How does this impact the lives of animals?

2) Why is this project important to your success and your community's success?

3) What difference will it make and to whom?

4) What is the benefit or potential benefit of a successful project?

Objective(s):

State objectives clearly and concisely in a logical sequence. Include only those objectives on which significant progress can be made during the life of the project. Objectives must relate to the value of sterilization of shelter dogs and cats and the promotion of their adoption.

Approach:

Procedures should correspond with each numbered objective and described in sufficient detail to clearly understand the actions to be used. Descriptions should be adequate to allow a reviewer familiar with the subject to evaluate the approach. The responsibilities and work assignments must be stated in the procedure for each objective.

List of Licensed Veterinarians to perform sterilizations:**Outreach and Evaluation Plan:**

A well-considered and appropriate outreach component is an essential part of this grant. Describe how this project will be shared with the community, how it will benefit the community and how your project will be evaluated at the end of the grant period.

Complete Spay/Neuter Budget Summary (Page 3)

PROPOSED BUDGET SUMMARY **SPAY/NEUTER SHELTER ANIMALS SURGICAL PROJECT**

Applicant: _____

Animal Category	Number of Animals/Units	Cost per Procedure/Unit	Total
Kittens			
Spay			
Neuter			
Adult Cats			
Spay			
Neuter			
Puppies			
Spay			
Neuter			
Adult Dogs			
Spay			
Neuter			
Spay/Neuter Total:			
Equipment/Supplies: *			
Equipment Total:			
Other:			
Other Total:			
TOTAL AMOUNT REQUESTED FOR THE PROJECT:			

*Provide quotes from vendor and veterinarian(s)

**SPAY/NEUTER SURGICAL
PROJECT FORM****Applicant:**

To increase the number of dogs and cats that are sterilized and adopted, to include the purchase of equipment and supplies for this program (i.e. payments to qualified veterinarian pursuant to section 2(d) of Public Act 132 of 2007, for reasonable and customary professional services related to sterilization procedures, payments for transportation of shelter animals to sterilization site, surgical suite equipment or supplies for alteration of shelter animals at the shelter and/or veterinary practices.)

Project Title:**Project Summary:**

Describe the project in everyday language without the use of scientific or technical jargon. State the problem, challenges or issue your project is addressing. Briefly explain how this project will address or solve the problem or challenge. Answer the following as part of the summary.

1) How does this impact the lives of animals?

2) Why is this project important to your success and your community's success?

3) What difference will it make and to whom?

4) What is the benefit or potential benefit of a successful project?

Objective(s):

State objectives clearly and concisely in a logical sequence. Include only those objectives on which significant progress can be made during the life of the project. Objectives must relate to the value of sterilization of shelter dogs and cats and the promotion of their adoption.

Approach:

Procedures should correspond with each numbered objective and described in sufficient detail to clearly understand the actions to be used. Descriptions should be adequate to allow a reviewer familiar with the subject to evaluate the approach. The responsibilities and work assignments must be stated in the procedure for each objective.

List of Licensed Veterinarians to perform sterilizations:**Outreach and Evaluation Plan:**

A well-considered and appropriate outreach component is an essential part of this grant. Describe how this project will be shared with the community, how it will benefit the community and how your project will be evaluated at the end of the grant period.

Complete Spay/Neuter Budget Summary (Page 3)

PROPOSED BUDGET SUMMARY SPAY/NEUTER SHELTER ANIMALS SURGICAL PROJECT

Applicant: _____

Animal Category	Number of Animals/Units	Cost per Procedure/Unit	Total
Kittens			
Spay			
Neuter			
Adult Cats			
Spay			
Neuter			
Puppies			
Spay			
Neuter			
Adult Dogs			
Spay			
Neuter			
Spay/Neuter Total:			
Equipment/Supplies: *			
Equipment Total:			
Other:			
Other Total:			
TOTAL AMOUNT REQUESTED FOR THE PROJECT:			

*Provide quotes from vendor and veterinarian(s)



City of Romulus

Mayor's Report – Robert A. McCraight, Mayor

Council Meeting Held: **June 6, 2022**

Item No. B.

General Description: Sole Source Bryx Station Upgrade

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED

City of Romulus

INTEROFFICE MEMORANDUM

TO: The Honorable Romulus City Council
FROM: Mayor Robert A. McCraight
SUBJECT: Sole Source Bryx Station Upgrade
DATE: June 1, 2022

I concur with the recommendation of Kevin Krause, Director of Fire and Emergency Services, and Gary Harris, Purchasing Director, and respectfully request City Council authorize the sole source purchase of the Bryx Station Fire Station Alerting Platform in the amount of \$64,335.00.

Also, the City of Romulus Fire Department has secured a reimbursement grant in the amount of \$15,000.00 from Energy Transfer to cover a portion of the system upgrade.

Maria Farris, Finance Director has verified that funds for this acquisition are available in the Public Safety Fund, Fire, Capital Outlay Expense account #205-336-970.000.

Motion by _____, supported by _____, to concur with the administration, and authorize the sole source purchase of the Bryx Station Fire Station Alerting Platform in the amount of \$64,335.00.



MEMORANDUM

DATE: June 1, 20222
TO: Mayor Robert A. McCraight
FROM: Gary Harris, Purchasing Director
SUBJECT: Sole Source Bryx Station Upgrade (Alert System)

Under the terms of Chapter 39 of the City of Romulus Code of Ordinances (Section 39-11(d)(1)c.1., Exceptions to Competition-Sole Source Purchase-only one known source that can provide the commodity), I respectfully request that Council authorize the Sole Source purchase of the Bryx Station Fire Station Alerting Platform.

A Sole Source letter has been submitted from the manufacturer. Bryx is sold only as a direct transaction between Bryx, Inc. and end customers.

I concur with the recommendation of Fire Chief Kevin Krause, to proceed with this purchase. If you concur, please request Council's authorization to purchase the Bryx Station Fire Station Alerting Platform for a total cost of \$64,335.00 under the terms of Sole Source Purchases Exception in Section 39-11(d)(1)c.1 of the City of Romulus Purchasing Ordinance.

Also, the City of Romulus Fire Department has secured a reimbursement grant of \$15,000.00 from Energy Transfer to cover a portion of this system upgrade.

Maria Farris, Financial Services Director, has verified that funds are available in the Public Safety Fund, Fire, Capital Outlay Expense Account (205-336-970.000), pending the second reading and approval of the budget amendment..

Gary Harris
Purchasing Director

Romulus Fire Department

Memo

To: Mayor McCraight
Cc: Julie Wojtylko, Chief of Staff
From: Director of Fire and Emergency Services, Kevin Krause
Date: 05/10/2022
Re: Bryx Station Upgrade

The Bryx Station is a fully integrated alerting system built for fire, EMS and public safety personnel. Alerts are generated in real-time and sent to responding stations and mobile devices in parallel. Bryx is a trusted leader in reducing emergency response times and uses a cloud-based platform which works faster, smoother, and smarter.

Currently, Romulus Fire Department uses Bryx 911 integrated with CAD and an outdated alerting system. Upgrading to Bryx Station alerting system will provide immediate alerts and full station automation with lighting, audio, voice alerting, and TV monitoring. It announces and displays all incident and dispatch data such as call type description, address location, and units dispatched. Also, Bryx has developed geocoding address locations for turn-by-turn navigation to dispatch first responders quickly to a call. Integrated GIS mapping allows first responders to locate hydrants and building information such as potential hazards and structural information. Purchasing the Bryx Station system and upgrading station alerting will be a great benefit for the City of Romulus community.

This purchase qualifies as an exception to competition in the Purchasing Ordinance, specifically Section 39-11(d)(1) c.1 (Exceptions to Competition-c. Sole Source Purchases).

Please note, the City of Romulus Fire Department has secured a reimbursement grant for \$15,000.00 from Energy Transfer to cover the partial cost of this system.

We are requesting to receive City Council approval to proceed with the purchase of the Bryx Station upgrade for a total cost of \$64,355.00. Funds are available in the Public Safety Fund, Fire Department, Capital Outlay Expense Account 205-336-970.000. Supporting documents have been attached for review and the details of the purchase have been reviewed by the City of Romulus attorney as well as the Purchasing Director.

If you have any questions prior to the meeting please contact my office.

Thank you.



April 7, 2022

Ms. Jill Martin, Grants Administrator
City of Romulus Fire Department
28777 Eureka Road
Romulus, Michigan 48174

Dear Ms. Martin:

On behalf of the Energy Transfer First Responder Fund Committee, congratulations on the approval of your application for funding. Energy transfer knows the importance of our first responders, and we are pleased to provide funds to help your organization provide emergency services to your community.

Enclosed is a check in the amount of \$15,000. In the near future, Energy Transfer personnel will be reaching out to coordinate a more formal check presentation to celebrate the success of your application.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Joe McGinn'.

Joseph F. McGinn
Vice President, Public Affairs &
Government Relations

Enclosures

Terms and Conditions:

1. By accepting an award of funds, the applicant acknowledges that the funds will be used for the purposes identified in the application.
2. By accepting an award of funds, the applicant verifies that the statements made in its application are true and correct.
3. By accepting an award of funds, the applicant verifies that all required authorizations and approvals from the applicant's leadership (i.e. board of directors or officers), for project fundraising and the application to Energy Transfer for funding, have been obtained.
4. In the event that any of the above are determined to be inaccurate, Energy Transfer reserves the right to seek repayment of the funds so that the funds can be used for purposes consistent with the Energy Transfer First Responder Fund.
5. In the event the applicant is awarded, Energy Transfer reserves the right to publicize at its discretion.



3-7-22

Thank you for your interest in Bryx, Inc.. Bryx, Inc. is the sole source provider of the Bryx Station fire station alerting platform. Bryx Offers the only true cloud based alerting system on the market today. No hardware is required at the PSAP. Bryx Station is sold only as a direct transaction between Bryx, Inc. and end customers.

Sincerely,

David Earl Thomas
President
Bryx, Inc.



585-364-BRYX



support@bryx.com
www.bryx.com



59 Halstead St
Rochester NY 14610

QUOTE

Valid until Aug 8, 2022

Bryx Station Alerting System

\$64,355.00**BRYX INC**

59 Halstead Street
Rochester, New York 14610
United States
+1 216-374-4761
brian.bush@bryx.com

QUOTE NUMBER QT-A5B8ACE6-0001-4

ISSUE DATE May 10, 2022

EXPIRATION DATE Aug 8, 2022

QUOTE FOR

Thank you for your interest in Bryx, Inc.

Romulus FD, MI

734-955-8964

KKrause@Romulusgov.com

DESCRIPTION	QTY	UNIT PRICE	AMOUNT
Bryx Station Alerting System Comes complete with led strip lights, tracks, ups, light bridge, audio cable, heart smart ramping tones, text to speech from CAD.	2	\$23,000.00	\$46,000.00
Annual Service and Maintenance for Station Alerting System. Annual Service and Maintenance for Station Alerting System. Includes 24/7 support, all software licenses, future software upgrades, all software enhancements and a lifetime warranty on the control unit.	2	\$2,500.00	\$5,000.00
Ceiling Speakers Bogen 8" ceiling speaker. White.	9	\$75.00	\$675.00
Bogen 100w Amplifier	2	\$700.00	\$1,400.00
Wall Speaker Bogen Wall speaker. Black	1	\$80.00	\$80.00
360 Bay Speaker	3	\$400.00	\$1,200.00
Installation	2	\$5,000.00	\$10,000.00

Company Confidential, Bryx, Inc.

QT-A5B8ACE6-0001-4 – Page 1 of 2

Subtotal	\$64,355.00
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Total	\$64,355.00
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FUNDS VERIFICATION FORM

<u>DEPARTMENT:</u> Romulus Fire Department
<u>FUND NAME:</u> Capital Outlay
<u>ACCOUNT NUMBER/S:</u> 205-336-970.000 / Capital Outlay
<u>PURPOSE FOR REQUEST:</u> Upgrade of Bryx Station System.
<u>AMOUNT OF EXPENDITURE:</u> \$64,355.00
<u>SIGNATURE OF DEPARTMENT HEAD:</u> 
<u>FUNDS CURRENTLY AVAILABLE:</u> \$69,438.89
<u>FINANCE DEPARTMENT APPROVAL:</u> *Pending BA second reading and approval June 6, 2022* <i>Maria Farris - May 25, 2022</i>
<u>DATE:</u> May 25, 2022



City of Romulus

Mayor's Report – Robert A. McCraight, Mayor

Council Meeting Held:

June 6, 2022

Item No. C.

General Description: General and Special Appropriations Act and Tax Levy Authorization Revision - Section 39 - reduction of levy

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED

City of Romulus

INTEROFFICE MEMORANDUM

TO: The Honorable Romulus City Council
FROM: Mayor Robert A. McCraight
SUBJECT: General and Special Appropriations Act and Tax Levy
Authorization Fiscal Year 2022/2023 - **Revision - Section 39 -
reduction of levy**
DATE: June 2, 2022

Pursuant to Section 9.4 of the Romulus City Charter, Romulus City Council adopted the General and Special Appropriations Act and Tax Levy for the City of Romulus and 34th District Court for the 2022-2023 Fiscal Year on May 9, 2022 (City Council Resolution #22-126). A resolution recognizing the revision to Section 39 as approved by City Council on May 9, 2022 is required. This revision is in accordance with the **reduction** of taxes to levy from **0.0464** to **0.04258** based on PA Act 359 of 1925.

Motion by _____, supported by _____ to concur with the administration and adopt a resolution amending Section 39 (P.A.359 Millage to 0.04258) of the General and Special Appropriations Act and Tax Levy authorization for the City of Romulus and 34th District Court Fiscal Year 2022-2023 as submitted by Mayor McCraight.

Memorandum

To: Honorable Mayor Robert A. McCraight and City Council Members
From: Maria Farris, Finance Director
Date: May 22, 2022
Subject: General Appropriations Act for the Fiscal Year 2022-2023 Budget
***Revised* Section. 39**

Attached please find a revised copy of the General Appropriations Act for the City of Romulus' FY2022-2023 Mayor's Recommended Budget for City Council that was approved on May 9, 2022, as required under the Uniform Budgeting and Accounting Act of 1968, as amended and in accordance with City Charter.

There was a revision to Section 39. Attached is the revised version. This revision was based on a **reduction** of taxes to levy from **0.0464** to **0.04258** based on PA Act 359 of 1925.

PA. Act 359 of 1925

AN ACT to empower the common council of any city, or the corporate authorities of any village, to levy a special tax to be used for advertising, publicity, recreation or exploitation, tending to encourage the industrial, commercial, educational or recreational advantages of the said city or village, for the purpose of encouraging immigration to, and increasing the trade, business and industries of the said city or village. History: 1925, Act 359, . Eff. May 27, 1925. The People of the State of Michigan enact: 123.881 Publicity tax; limit. Sec. 1. The common council of any city, or the corporate authorities of any village, in this state, shall have the power to levy a special tax not to exceed in any 1 year 4 mills on the dollar of the assessed valuation of all taxable property within the said city or village, to be used for advertising, exploiting and making known the industrial, commercial, educational or recreational advantages of the said city or village, and to establish recreational and educational projects for the purpose of encouraging immigration to, and increasing the trade, business and industries of the said city or village: Provided, however, That such tax levy shall not exceed 50,000 dollars in any 1 year.

Thank you.

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

A resolution to provide for the adoption of a budget proposed by the Mayor containing estimates of proposed revenues and expenditures for the fiscal year beginning July 1, 2022 and ending June 30, 2023 and millage rates to support this budget.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROMULUS:

SECTION 1. That for the expenditures of the City Government and its activities for the fiscal year, beginning July 1, 2022 and ending June 30, 2023, the amounts in the following sections are hereby appropriated.

SECTION 2. That for the said fiscal year there is hereby appropriated out of the General Fund on an activity basis, the following:

COUNCIL	\$	106,078
MAYOR		812,874
CLERK		744,198
FINANCIAL SERVICES		11,044,760
TREASURER		469,590
PUBLIC SAFETY		1,650,026
PUBLIC SERVICES		3,487,960
COMMUNITY & ECONOMIC DEVELOPMENT		134,391
RECREATIONAL & CULTURAL		573,581
TOTAL EXPENDITURES		19,023,458

REVENUES

PROPERTY TAXES	9,417,550
BUSINESS LICENSES & PERMITS	221,000
FEDERAL GRANTS & REVENUES	-
STATE GRANTS & REVENUES	4,429,430
CHARGES FOR SERVICES	588,760
FINES & FORFEITS	100,000
INTEREST & RENTS	439,290
OTHER REVENUES	1,570,550
CONTRIBUTIONS FROM LOCAL UNITS	27,020
NON-BUSINESS LICENSES & PERMITS	1,262,200
TOTAL REVENUES	18,055,800
APPROPRIATION - FUND BALANCE	967,658
TOTAL REVENUES & APPROPRIATED FUND BALANCE	19,023,458

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

SECTION 3. That for the said fiscal year there is hereby appropriated out of the Major Roads Fund on an activity basis, the following:

MAJOR ROADS FUND EXPENDITURES	2,019,000
TRANSFER TO LOCAL STREETS	300,000
TRANSFER TO DEBT FUND	200,690
TOTAL EXPENDITURES & CONTINGENCIES	2,519,690
REVENUES	2,933,064

SECTION 4. That for the said fiscal year there is hereby appropriated out of the Local Streets Fund on an activity basis, the following:

LOCAL STREETS FUND EXPENDITURES	1,704,080
REVENUES	1,253,690
APPROPRIATION - FUND BALANCE	450,390
TOTAL REVENUES & APPROPRIATED FUND BALANCE	1,704,080

SECTION 5. That for the said fiscal year there is hereby appropriated out of the Public Safety Fund on an activity basis, the following:

PUBLIC SAFETY FUND	14,590,600
REVENUES	14,590,600

SECTION 6. That for the said fiscal year there is hereby appropriated out of the Romulus Athletic Center Fund on an activity basis, the following:

ROMULUS ATHLETIC CENTER	1,563,920
REVENUES	1,565,950

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

SECTION 7. That for the said fiscal year there is hereby appropriated out of the Cemetery Perpetuation Fund on an activity basis, the following:

CEMETERY FUND	<u>-</u>
REVENUES	<u>100</u>

SECTION 8. That for the said fiscal year there is hereby appropriated out of the Cable Television Fund on an activity basis, the following:

CABLE TELEVISION	<u>305,006</u>
REVENUES	<u>362,370</u>

SECTION 9. That for the said fiscal year there is hereby appropriated out of the Merriman Road Special Assessment Fund on an activity basis, the following:

MERRIMAN RD SPECIAL ASSESSMENT	<u>111,700</u>
REVENUES	<u>98,990</u>
APPROPRIATION - FUND BALANCE	<u>12,710</u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>111,700</u>

SECTION 10. That for the said fiscal year there is hereby appropriated out of the Street Lighting Fund on an activity basis, the following:

STREET LIGHTING	<u>624,030</u>
REVENUES	<u>669,000</u>

SECTION 11. That for the said fiscal year there is hereby appropriated out of the Oakwood Special Assessment District on an activity basis, the following:

OAKWOOD SPECIAL ASSESSMENT DISTRICT	<u>14,000</u>
REVENUES	<u>20,630</u>

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

SECTION 12. That for the said fiscal year there is hereby appropriated out of the Community/Employee Activity Fund on an activity basis, the following:

COMMUNITY/EMPLOYEE ACTIVITY FUND	<u>10,000</u>
REVENUES	<u>10,000</u>

SECTION 13. That for the said fiscal year there is hereby appropriated out of the Sanitation Fund on an activity basis, the following:

SANITATION	<u>1,398,163</u>
REVENUES	<u>1,425,130</u>

SECTION 14. That for the said fiscal year there is hereby appropriated out of the Community Development Block Grants Fund on an activity basis, the following:

COMMUNITY DEVELOPMENT BLOCK GRANTS	<u>20,000</u>
REVENUES	<u>20,000</u>

SECTION 15. That for the said fiscal year there is hereby appropriated out of the Michigan Indigent Defense Fund on an activity basis, the following:

MICHIGAN INDIGENT DEFENSE FUND	<u>220,750</u>
REVENUES	<u>220,850</u>

SECTION 16. That for the said fiscal year there is hereby appropriated out of the 9 1 1 Fund on an activity basis, the following:

9 1 1 FUND	<u>144,120</u>
REVENUES	<u>156,000</u>

SECTION 17. That for the said fiscal year there is hereby appropriated out of the Federal Law Enforcement Fund on an activity basis, the following:

FEDERAL LAW ENFORCEMENT	<u>208,160</u>
REVENUES	<u>100,000</u>
APPROPRIATION - FUND BALANCE	108,160

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>208,160</u></u>
---	-----------------------

SECTION 18. That for the said fiscal year there is hereby appropriated out of the State Law Enforcement Fund on an activity basis, the following:

STATE FORFEITURE	<u><u>77,750</u></u>
REVENUES	<u><u>10,000</u></u>
APPROPRIATION - FUND BALANCE	<u><u>67,750</u></u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>77,750</u></u>

SECTION 19. That for the said fiscal year there is hereby appropriated out of the Municipal Library Fund on an activity basis, the following:

MUNICIPAL LIBRARY	<u><u>1,384,809</u></u>
REVENUES	<u><u>960,690</u></u>
APPROPRIATION - FUND BALANCE	<u><u>424,119</u></u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>1,384,809</u></u>

SECTION 20. That for the said fiscal year there is hereby appropriated out of the Grant Special Revenue Fund on an activity basis, the following:

Grant Special Revenue	<u><u>1,238,620</u></u>
REVENUES	<u><u>2,477,260</u></u>
APPROPRIATION - FUND BALANCE	<u><u>(1,238,640)</u></u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>1,238,620</u></u>

SECTION 21. That for the said fiscal year there is hereby appropriated out of the 2017B Court Building Debt Service Fund on an activity basis, the following:

2017B COURT BUILDING CAPITAL IMPROVEMENT BONDS	<u><u>1,040,938</u></u>
REVENUES	<u><u>450,500</u></u>
APPROPRIATION - FUND BALANCE	<u><u>590,438</u></u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>1,040,938</u></u>

SECTION 22. That for the said fiscal year there is hereby appropriated out of the 2017A Ecorse/Vining Capital Improvement Debt Service Fund on an activity basis, the following:

2017A ECORSE/VINING CAPITAL IMPROVEMENT BONDS	<u><u>1,138,075</u></u>
--	-------------------------

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

REVENUES	1,118,190
APPROPRIATION - FUND BALANCE	19,885
TOTAL REVENUES & APPROPRIATED FUND BALANCE	1,138,075

SECTION 23. That for the said fiscal year there is hereby appropriated out of the 2014 Capital Improvement Debt Service Fund on an activity basis, the following:

2014 CAPITAL IMPROVEMENT BONDS	200,690
REVENUES	200,680

SECTION 24. That for the said fiscal year there is hereby appropriated out of the Sewer Debt Service Fund on an activity basis, the following:

SEWER DEBT SERVICE	400,000
REVENUES	95,000
APPROPRIATION - FUND BALANCE	305,000
TOTAL REVENUES & APPROPRIATED FUND BALANCE	400,000

SECTION 25. That for the said fiscal year there is hereby appropriated out of the Water Debt Service Fund on an activity basis, the following:

WATER DEBT SERVICE	60,000
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CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

REVENUES	<u>60,500</u>
-----------------	---------------

SECTION 26. That for the said fiscal year there is hereby appropriated out of the Ecorse Construction & Vining Road Extension Fund on an activity basis, the following:

ECORSE CONSTRUCTION & VINING ROAD EXTENSION	<u>1,640,170</u>
--	------------------

REVENUES	<u>5,000</u>
APPROPRIATION - FUND BALANCE	<u>1,635,170</u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>1,640,170</u>

SECTION 27. That for the said fiscal year there is hereby appropriated out of the Tax Increment Finance Authority Vining Road Construction Fund on an activity basis, the following:

TIFA-VINING CONSTRUCTION	<u>24,000</u>
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REVENUES	<u>100</u>
APPROPRIATION - FUND BALANCE	<u>23,900</u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>24,000</u>

SECTION 28. That for the said fiscal year there is hereby appropriated out of the Sewer and Water Fund on an activity basis, the following:

SEWER AND WATER	<u>17,746,494</u>
------------------------	-------------------

REVENUES	<u>13,667,312</u>
APPROPRIATION - FUND BALANCE	<u>4,079,182</u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>17,746,494</u>

SECTION 29. That for the said fiscal year there is hereby appropriated out of the Vehicle and Equipment Fund on an activity basis, the following:

MOTOR VEHICLE AND EQUIPMENT	<u>2,274,570</u>
------------------------------------	------------------

REVENUES	<u>1,661,390</u>
-----------------	------------------

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

APPROPRIATION - FUND BALANCE	613,180
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>2,274,570</u>

SECTION 30. That for the said fiscal year there is hereby appropriated out of the Technology Services Fund on an activity basis, the following:

TECHNOLOGY SERVICES	<u>892,450</u>
REVENUES	<u>711,650</u>
APPROPRIATION - FUND BALANCE	180,800
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>892,450</u>

SECTION 31. That for the said fiscal year there is hereby appropriated out of the Property and Liability Self-Insurance Fund on an activity basis, the following:

PROPERTY AND LIABILITY SELF INSURANCE	<u>628,312</u>
REVENUES	<u>622,890</u>
APPROPRIATION - FUND BALANCE	5,422
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u>628,312</u>

SECTION 32. That for the said fiscal year there is hereby appropriated out of the Retirement Insurance Benefit Fund on an activity basis, the following:

RETIREE INSURANCE BENEFITS	<u>2,278,752</u>
REVENUES	<u>2,365,240</u>

SECTION 33. That for the said fiscal year there is hereby appropriated out of the Brownfield Redevelopment Authority Fund on an activity basis, the following:

BROWNFIELD REDEVELOPMENT AUTHORITY	<u>3,610</u>
REVENUES	<u>9,760</u>

SECTION 34. That for the said fiscal year there is hereby appropriated out of the Downtown Development Authority Fund on an activity basis, the following:

DOWNTOWN DEVELOPMENT AUTHORITY	<u>763,872</u>
REVENUES	<u>525,680</u>
APPROPRIATION - FUND BALANCE	238,192

CITY OF ROMULUS

GENERAL AND SPECIAL APPROPRIATIONS ACT

TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>763,872</u></u>
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SECTION 35. That for the said fiscal year there is hereby appropriated out of the Tax Increment Finance Authority Funds on an activity basis, the following:

TIFA DISTRICT II	<u><u>10,658,316</u></u>
REVENUES	<u><u>6,694,517</u></u>
APPROPRIATION - FUND BALANCE	<u><u>3,963,799</u></u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>10,658,316</u></u>

SECTION 36. That for the said fiscal year there is hereby appropriated out of the 34th District Court on an activity basis, the following:

34th DISTRICT COURT	<u><u>420,000</u></u>
REVENUES	<u><u>2,000</u></u>
APPROPRIATION - FUND BALANCE	<u><u>418,000</u></u>
TOTAL REVENUES & APPROPRIATED FUND BALANCE	<u><u>420,000</u></u>

SECTION 37. That for the said fiscal year there is hereby appropriated the following Capital Budget expenditures:

CAPITAL BUDGET	<u><u>10,558,465</u></u>
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SECTION 38. That amounts budgeted for specific items or purposes and not required to be utilized for such items or purposes may be spent by the Mayor for other items or purposes within the same activity for which such allocations are made.

SECTION 39. Be it further resolved that the following millage rates as provided by charter or statute be assessed:

OPERATING MILLAGE	9.4063
	WAS 0.0464
P.A. 359 MILLAGE	Revised 0.04258
FIRE AND POLICE SERVICES MILLAGE	4.0000
LIBRARY MILLAGE	0.7000
SANITATION MILLAGE	1.5500



City of Romulus

Clerk's Report – Ellen L. Craig-Bragg, Clerk

Council Meeting Held:

June 6, 2022

Item No. A.

General Description: Second Reading & Final Adoption of Budget Amendment 21/22-13

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



MEMORANDUM

To: Honorable City Council

From: Ellen L. Craig-Bragg, City Clerk

Cc: D’Sjonaun Hockenhull, Deputy City Clerk

Date: June 6, 2022

Re: 2nd Reading & Final Adoption of Budget Amendment 21/22-13

For Second Reading and Final Adoption of Budget Amendment 21/22-13 in the total amount of \$34,093.67 to recognize Fire Grant Donations and corresponding expenses related to the Grant revenue.

This budget amendment was introduced at the May 23, 2022 Regular Meeting.

MEMORANDUM

TO: Mayor Robert A. McCraight

FROM: Finance Department

DATE: 5/17/2022 MEF

SUBJECT: Budget Amendment 21/22 -13

<u>FUND/DEPT.</u> <u>ACCOUNT NO.</u>	<u>ACCOUNT NAME</u>	<u>CURRENT</u> <u>BUDGET</u>	<u>AMENDMENT</u>	<u>AMENDED</u> <u>BUDGET</u>
FIRE				
Revenue				
205-336-675.000	Donations	-	14,439	14,439
205-336-675.003	Donations/Grant Local	-	15,000	15,000
205-336-675.003	Donations/Grant Local	-	4,654	4,654
Expense				
205-336-970.000	Capital Outlay	40,000	29,439	69,439
205-336-730.000	Operating Supplies	20,213	4,654	24,867

To recognize Fire Grant Donations and corresponding expenses related to the Grant revenue.

BUDGET AMENDMENT FORM

INCREASE		DECREASE	
Account Number /Name	Amount	Account Number /Name	Amount
205-336-970.000 Capital Outlay	\$14,439.00	205-336-675.000 Donations	\$ 14,439
205-336-970.000 Capital Outlay	\$15,000	205-336-675.003 Donations / Grants-Local	\$15,000
205-336-730.000 Operating Supplies	\$ 4,654	205-336-675.003 Donations / Grants-Local	\$ 4,654
TOTAL	\$ 34,093	TOTAL	\$ 34,093

PURPOSE:

Grant \$14,439: Beaumont donation funds deposited to 205-336-675.000 as of 04/29/2022 for \$14,439.38 for purchase of 1 LUCAS Chest Compression system. Amend budget to decrease Donations 205-336-675.000 in the amount of \$14,439 and increase Capital Outlay 205-336-970.000 for the purchase of 2 systems on existing PO 21-010780.

Grant \$15,000: Energy Transfer donation funds deposited to 205-336-675.003 as of 05/13/2022 for \$15,000.00 for the purchase of Bryx Station system. Amend budget to decrease Donations / Grants - Local 205-336-675.003 in the amount of \$15,000.00 and increase Capital Outlay 205-336-970.000 for the purchase of Bryx system.

Grant \$4,654: Reimbursed HEMS donation funds deposited to 205-336-675.003 as of 09/22/2021 for \$4,654.29 for the purchase of trauma backboards. Amend budget to decrease Donations / Grants - Local 205-336-675.003 in the amount of \$4,654 for the purchase of trauma backboards.

DATE: 5/13/2022

Department Head Signature: _____

Mayor's Authorization: _____

THIS FORM IS TO BE USED WHEN THE TOTAL AMOUNT OF EXPENDITURES WITHIN A DEPARTMENT IS REQUESTED TO BE INCREASED. IT REQUIRES PRIOR APPROVAL FROM THE MAYOR AND THE FINANCE DEPARTMENT WILL DETERMINE IF THE FUNDS ARE AVAILABLE EITHER FROM FUND BALANCE/RETAINED EARNINGS OR YOU MAY ALSO REQUEST FUNDS TO BE TRANSFERRED FROM ANOTHER ONE OF YOUR DEPARTMENTAL BUDGETS. THIS REQUEST REQUIRES COUNCIL APPROVAL.



City of Romulus

Clerk's Report – Ellen L. Craig-Bragg, Clerk

Council Meeting Held: **June 6, 2022**

Item No. B.

General Description: Approval of the 2022 Honorary Street Sign Dedication Applications

Resolution No. _____

<i>Moved by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Seconded by:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

<i>Ayes:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Nays:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams
<i>Abstain:</i>	Abdo	Barden	Roscoe	Talley	Wadsworth	Webb	Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



MEMORANDUM

To: Honorable City Council

From: Ellen L. Craig-Bragg, City Clerk

Cc: D’Sjonaun Hockenhull, Deputy City Clerk

Date: June 6, 2022

Re: Approval of 2022 Honorary Street Sign Dedication Applications

At the March 22, 2021 Regular Meeting, Council approved the Honorary Street Sign Dedication Policy (Resolution No. 21-087).

Within the 2022 application period, the Clerk’s Office received three (3) applications which have been successfully vetted through various city departments.

For your review and approval are the 2022 Honorary Street Sign Dedications for the following honorees:

1. **Ida Watson** with location of proposed sign on the corner of Bibbins St & Hunt St.
2. **Serlena White** with location of proposed sign on the corner of Moore St. & Grant St.
3. **Alan Webb** with location of proposed sign on the McBride St. between Shook Rd & Ozga Rd.

Memo

To: Julie Wojtylko, Chief of Staff
From: Derran Shelby, Deputy Chief
Date: May 19, 2022
Re: Honorary Street Sign Applicants
(Serlena White, Alan Webb, Ida Watson)

I have reviewed the applications and we have completed preliminary records checks on the potential honorees. At this time, we have not discovered anything that would preclude them from being selected.

CC Robert Pfannes, Chief
Kathy Hood, Assistant Director



Honorary Street Naming Dedication Application

1. APPLICANT INFORMATION

*Please print clearly

Applicants Name: Catherine Frison

Street Address: 11466 Sidney St.

Relationship to nominee: Sister in law

Telephone: (734) 301-0247 E-mail: Cfrison500@comcast.net

2. HONORARY NAME REQUEST

NAME OF HONOREE (PLEASE PRINT):

Ida Watson

(As it would appear on the Street Name Sign)

LOCATION OF PROPOSED SIGN (MUST BE A CITY LOCAL STREET WHERE THE HONOREE LIVED):

Corner of Bibbins and Hunt

INTERSECTING STREETS AT EACH END OF THE ONE BLOCK AREA:

YEARS NOMINEE HAS RESIDED IN ROMULUS (MUST BE A MINIMUM OF 35 YEARS total) 35+

Please list the City addresses the nominee has resided:

36100 Bibbins Street



Honorary Street Naming Dedication Application

Please check all that apply to the honoree and include a brief explanation for each of the applicable criteria. (Use additional pages if necessary)

 (Check Here) Significant Contribution to the City:

 X (Check Here) Historical Impact or Service to the City (ties to the City):

Mrs Watson was a Romulus School System employee for
over 30yrs. She and her husband, Charlie Watson have helped
family and members of the community with food, vehicle repair
and housing in their duplex.

 (Check Here) Humanitarian Efforts or other:

3. SUBMIT APPLICATION AND FEE:

My application consists of the following items necessary for a complete application. Please check:

- ☒ Completed Application Form, plus a \$25 fee (make checks payable to "City of Romulus" and submit to the City Clerk's Office), City of Romulus, 11111 Wayne Road, Romulus, MI 48174

Signature of Applicant: Catherine Brisson Date: 5/2/2022



Honorary Street Naming Dedication Application

OFFICE USE ONLY:

Application approved by Clerk's Office: 5/2/2022 DH DOD: 9/4/2020

Location approved by DPW: ✓ clear - K. Hood

Application approved by Chief of Police: See Memo

Application approved by Mayor: _____

Date approve by City Council: _____

Resolution Number: _____

Date sign to be installed by: _____

Date sign to be removed by: _____

Sign Installation fee of \$25.00 paid to Treasurer's Office.

Receipt #: _____

Date: _____

RECEIVED

2022 MAY -2 A 10:39

CLERK'S OFFICE

RECEIVED

~~2022 APR 32 A 10:39~~

CLERK'S OFFICE



Honorary Street Naming Dedication Application

1. APPLICANT INFORMATION

*Please print clearly

Applicants Name: DEBORAH WHITE

Street Address: 11260 GABRIEL ST

Relationship to nominee: DAUGHTER

Telephone: 734 765 6845 E-mail: deborah.white.13 @
sbcglobal.net

2. HONORARY NAME REQUEST

NAME OF HONOREE (PLEASE PRINT):

SERLENA WHITE

(As it would appear on the Street Name Sign)

LOCATION OF PROPOSED SIGN (MUST BE A CITY LOCAL STREET WHERE THE HONOREE LIVED):

corner of - MOORE ST & GRANT Rd

INTERSECTING STREETS AT EACH END OF THE ONE BLOCK AREA:

YEARS NOMINEE HAS RESIDED IN ROMULUS (MUST BE A MINIMUM OF 35 YEARS total) 56 Yrs (11/1965)

Please list the City addresses the nominee has resided:

11554 MOORE ST



Honorary Street Naming Dedication Application

Please check all that apply to the honoree and include a brief explanation for each of the applicable criteria. (Use additional pages if necessary)

- ☒ (Check Here) Significant Contribution to the City:
- * WORKED WITH THE BLIND CENTER ON EUREKA Rd.
 - * " " " ROMULUS BAND BOOSTERS
 - * ASSISTED RAISING MONEY FOR ROMULUS FLYERS
 - * ROMULUS CIVIC LEAGUE CONTRIBUTOR

- ☒ (Check Here) Historical Impact or Service to the City (ties to the City):
- * DROVE SCHOOL BUS FOR ROMULUS
 - * ASSISTED TEACHERS IN THE CLASS ROOM
 - * WORKED WITH VOTING POLL & REGISTRATION

- ☒ (Check Here) Humanitarian Efforts or other:
- IN SERLENG'S COMMUNITY SHE WOULD COLLECT
 - MONEY FOR JERRY'S KIDS AND
 - UNITED WAY

3. SUBMIT APPLICATION AND FEE:

My application consists of the following items necessary for a complete application. Please check:

- ☒ Completed Application Form, plus a \$25 fee (make checks payable to "City of Romulus" and submit to the City Clerk's Office), City of Romulus, 11111 Wayne Road, Romulus, MI 48174

Signature of Applicant Nehorah White Date: 4/21/2022



Honorary Street Naming Dedication Application

OFFICE USE ONLY:

Application approved by Clerk's Office: 4/21/22 - Reg. Voter as of 4/15/68 - DH

Location approved by DPW: ✓ clear K. Hood

Application approved by Chief of Police: See Memo

Application approved by Mayor: _____

Date approve by City Council: _____

Resolution Number: _____

Date sign to be installed by: _____

Date sign to be removed by: _____

Sign Installation fee of \$25.00 paid to Treasurer's Office.

Receipt #: _____

Date: _____



Honorary Street Naming Dedication Application

1. APPLICANT INFORMATION

***Please print clearly**

Applicants Name: VEETTA LYNN WEBB

Street Address: 36654 MCBRIDE

Relationship to nominee: WIFE (WIDOW)

Telephone: (H) 734.941.5715
(C) 734.417.0769 E-mail: MAMAWLYNN@MSU.COM

2. HONORARY NAME REQUEST

NAME OF HONOREE (PLEASE PRINT):

ALAN WEBB
(As it would appear on the Street Name Sign)

LOCATION OF PROPOSED SIGN (MUST BE A CITY LOCAL STREET WHERE THE HONOREE LIVED):

MCBRIDE @ SHOOK AND MCBRIDE @ OZGA

INTERSECTING STREETS AT EACH END OF THE ONE BLOCK AREA:

SHOOK AND OZGA

YEARS NOMINEE HAS RESIDED IN ROMULUS (MUST BE A MINIMUM OF 35 YEARS total) 65 years

Please list the City addresses the nominee has resided:

36654 MCBRIDE 28448 Ecorse Rd.



Honorary Street Naming Dedication Application

Please check all that apply to the honoree and include a brief explanation for each of the applicable criteria. (Use additional pages if necessary)

____ (Check Here) Significant Contribution to the City:

____ (Check Here) Historical Impact or Service to the City (ties to the City):

☒ (Check Here) Humanitarian Efforts or other:

ALAN HAD A HEART FOR ROMULUS. HE LIVED HIS WHOLE
LIFE IN ROMULUS. WHEN IN HIGH SCHOOL HE WORKED ALONG
SIDE WITH MR. PAUL HAMMER IN THE BUILDING TRADES PROGRAM.
IT BEGAN WITH BUILDING ADO HOUSES AND STORAGE SHEDS FOR
RESIDENTS AND THEN WENT ON TO BUILDING HOUSES
ON TYLER RD.

3. SUBMIT APPLICATION AND FEE:

My application consists of the following items necessary for a complete application. Please check:

- ☒ Completed Application Form, plus a \$25 fee (make checks payable to "City of Romulus" and submit to the City Clerk's Office), City of Romulus, 11111 Wayne Road, Romulus, MI 48174

Signature of Applicant: Walter Lynn Webb Date: 4.28.2022



Honorary Street Naming Dedication Application

OFFICE USE ONLY:

Application approved by Clerk's Office: 5/2/2022 DH DOD: 8/7/2021

Location approved by DPW: ✓ clear K Hood

Application approved by Chief of Police: See Memo

Application approved by Mayor: _____

Date approve by City Council: _____

Resolution Number: _____

Date sign to be installed by: _____

Date sign to be removed by: _____

Sign Installation fee of \$25.00 paid to Treasurer's Office.

Receipt #: _____

Date: _____

Alan Webb

After graduating from RTHS in 1974, Alan worked for Mr. Vic Costa in the home improvement business. Along with his dad, Roy Webb, they have done the following on numerous homes in the city: roofing, aluminum siding, window installation and building sheds and homes. Throughout his years Alan worked with Mr. Gil White, Mr. Jack Morgan, Mr. Melvin Morgan, Mr. Jim Wells and many others to assist with the updates and improvements of homes throughout the city.

Alan also established his own companies:

Webb Home Improvement and Webb Snow Removal.

Alan was a dedicated son, husband, father and Papa. He and I met at Bonulus Junior High when we were in 7th grade. We celebrated our 47th wedding anniversary on July 13, 2021 before he passed on August 7, 2021.

It would be an honor to have our street sign with Alan's name on it. He always showed pride and respect for our city.

Thank you in advance for your consideration of this nomination.

Sincerely,

Wetla Lynn Webb



City of Romulus

Treasurer's Report

Council Meeting Held:

June 6, 2022

Item No. 7.

General Description: _____

Resolution No. _____

Moved by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Seconded by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Ayes: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Nays: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Abstain: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



City of Romulus

Public Comment

Council Meeting Held:

June 6, 2022

Item No. 8.

General Description: _____

Resolution No. _____

Moved by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Seconded by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Ayes: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Nays: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Abstain: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



City of Romulus

Unfinished Business

Council Meeting Held:

June 6, 2022

Item No. 9.

General Description: _____

Resolution No. _____

Moved by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Seconded by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Ayes: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Nays: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Abstain: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



City of Romulus

New Business

Council Meeting Held:
Item No. 10.

June 6, 2022

General Description: _____

Resolution No._____

Moved by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Seconded by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Ayes: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Nays: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Abstain: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED



City of Romulus

Communication

Council Meeting Held:
Item No. 11

June 6, 2022

Councilperson Abdo: _____

Councilperson Barden: _____

Councilperson Roscoe: _____

Councilperson Talley: _____

Councilperson Wadsworth: _____

Councilperson Webb: _____

Councilperson Williams: _____



City of Romulus

Adjournment

Council Meeting Held:

June 6, 2022

Item No. 12

General Description: _____

Resolution No. _____

Moved by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Seconded by: Abdo Barden Roscoe Talley Wadsworth Webb Williams

Ayes: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Nays: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

Abstain: All Abdo Barden Roscoe Talley Wadsworth Webb Williams

MOTION CARRIED
UNANIMOUSLY

MOTION CARRIED

MOTION FAILED